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April 29, 2024

VIA HAND DELIVERY

Palma Shiles, Planning Board Administrator
City of Margate Planning Board
9001 Winchester Avenue
Margate City, NJ 08402

RE: Application of Sunrise Wine & Tequila
9700 Ventnor Avenue
Block 131, Lot 21
Margate, Atlantic County, New Jersey
Our File No. 13158-002

Dear Ms. Shiles:

Please be advised that I represent the above-referenced property owner with regard to its application to the City of Margate Planning Board for amended site plan relief and/or certain “c” variance relief for the renovation and construction of the existing structure which is presently “under construction” for a restaurant, bar, and open lounge seating area on the second story of the building.

As you are aware, the subject property had previously been an improved pizza parlor (Tony Boloney’s) on the Longport side of the structure, and Sunrise Wine & Tequila on the Margate side of the structure.

On January 25, 2024, I obtained for my client certain land use entitlements which were memorialized in the City of Margate Planning Board Decision and Resolution 9-2024. The purpose of this present application is to seek approval for the reconstruction and renovation of the building in the footprint that previously existed prior to the time the walls for the prior structure were rebuilt, in order to ensure that the structure met all safety codes and proper methods of construction.

At the time the property owner began the first phase of the nonstructural demolition at the property, the project engineer determined that the walls of the building were not supported by a proper foundation.

The walls themselves needed to be replaced in their existing location with more steel, concrete, and structural supports, in order to provide for the public's safety, health and welfare at the building.

Based upon the prior approval of this project as memorialized in Decision and Resolution 9-2024, and based upon the application materials submitted herein, it is respectfully requested that the present application and the site plan amendment and "c" variances pose no detriment to either the neighboring properties or the Zone Plan and Zoning Ordinance of the City of Margate, along with the State of New Jersey Municipal Land Use Law.

In support of this application, I enclose the following:

1. Original and seventeen (17) copies of the City of Margate Planning Board Application and Variance Application Checklist;
2. Eighteen (18) sets of architectural renderings prepared by Thomas Baglivo, RA of Baglivo Associates, dated March 25, 2024 consisting of four (4) sheets;
3. Eighteen (18) copies of the stair, trash, and electrical panel detail renderings prepared by Thomas Baglivo, RA of Baglivo Associates, dated April 30, 2024 consisting of one (1) sheet;
4. Eighteen (18) copies of plans – structural, engineering, foundation, first floor, second floor and column connection to deck plans prepared by Arthur J. Chew, III, PE, dated March 22, 2024 consisting of seven (7) sheets;
5. Eighteen (18) copies of the survey and legal description prepared by James R. Boney, PLS, dated December 9, 2022;
6. Eighteen (18) copies of the Elevation Certificate prepared by James R. Boney, PLS, dated December 9, 2022;
7. Eighteen (18) copies of mechanical floor plans, plumbing floor plans, lighting floor plans, power floor plans, and fire protection floor plans, prepared by MPE Consulting & Design, LLC (Daniel A. Loveland, Sr., PE) dated March 21, 2024 consisting of five (5) sheets;
8. Eighteen copies of correspondence from my office to the City of Margate Zoning Officer, Construction Code Official, and Solicitor, dated March 14, 2024 referencing the subject project consisting of three (3) sheets;
9. Eighteen copies of Decision and Resolution 9-2024 as memorialized by the City of Margate Planning Board on February 22, 2024 consisting of eighteen (18) sheets;

10. Eighteen (18) copies of the vesting Deed into the subject Applicant dated April 20, 2023;
11. One (1) copy of the 200' Property Owners List;
12. One (1) original Proof of Paid Taxes, water & sewer; and
13. One (1) USB Flash Drive with electronic copies of the submission materials.

Lastly, I enclose the Applicant's application fees payable to the City of Margate in the amounts of \$1,500.00, \$750.00 and \$250.00 respectively.

I would kindly ask that you please acknowledge receipt of this voluminous application package, and feel free to reach out to me if you require any additional information regarding this matter presently or up to and including the time of the special Planning Board meeting of the City of Margate which is to occur on May 15, 2024 at 6:30 p.m.

I will, of course, provide proper notice and proof of publication as required by the State of New Jersey Municipal Land Use Law.

Thank you for your kind cooperation and attention to this matter.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

By: 
ERIC S. GOLDSTEIN

ESG/ch

Enclosures

c: Brian and Dana Hiltner (w/encls. via e-mail)

APPLICATION FOR ACTION BY PLANNING BOARD
MARGATE, NEW JERSEY

PLEASE
TYPE OR
PRINT

1. **Date of Application:** April 26, 2024

2. **Zoning District:**

S-60	Single Family Residential	MF	Multi-Family Residential
S-50	Single Family Residential	CBD	Central Business District
S-40(WD)	Single Family Residential	C-1	Commercial
S-30	Single Family Residential	C-2	<input checked="" type="checkbox"/> Commercial/Business
S-25	Single Family Residential	WSD	Waterfront Special District
S-25 (HD)	Historic Single Family Residential	GO	Government and Open Space
TF	Two-Family Residential	R	Riparian Overlay District

3. **Subject Parcel:**

Street Address(es) 9700 Ventnor Avenue
Block Number 131 Lot No(s) 21
Total Area (in square feet) 4,350 sf.
Frontage: 50 ft.
Depth: 87 ft.

4. **Information about the Applicant:**

Full name(s) Sunrise Wine and Tequila, LLC
If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)

Local Residence Address 428 N. Pembroke Avenue, Margate, NJ Zip 08402
Other Residence Address _____ Zip _____
Business Address _____ Zip _____
Phone Number(s) (include area code);
Local Residence _____ Other Residence _____
Business _____ Fax dandbpembroke@gmail.com Cell Phone (609) 703-4789

5. Interest in Subject Property:

(Supply copies of relevant documents with this

Application):

By lease dated _____

By Agreement of Sale dated _____

By Ownership of property since April 20, 2023

____ By other interest in law (describe):

6. If you do not own the Subject Property, provide the following regarding the Owner:

Name(s) _____

Address _____

Phone No. (include area code);

Res. _____

Bus. _____

Fax _____

Cell _____

7. Type of Application Applied For (check all applicable):

C Variance(s)

Minor Subdivision

Interpretation (B Variance)

D Variance(s)

Major Subdivision

Other (Explain)

Minor Site Plan Action

Conditional Use Permit

Possibly Site Plan Waiver

Major Site Plan Action

Appeal (A)

8. Application Made To:

Planning Board

Other

9. Professionals Representing the Applicant: (Check applicable professional and provide information)

Attorney: Name Eric S. Goldstein, Esquire Phone (609) 927-1177

Address Nehmad Davis & Goldstein, PC - 4030 Ocean Heights Avenue, Egg Harbor Township, NJ 08234

Fax (609) 926-9721 Cell _____

Architect: Name Thomas Baglivo, RA - Baglivo Associates Phone (610) 277-7107

Address 472 Norristown Road, Blue Bell, PA 19422

Fax (484) 801-2608 Cell _____

Surveyor: Name James R. Boney, PLS Phone (609) 788-8013

Address 13 Stone Mill Court, Egg Harbor Township, NJ 08234

Fax _____ Cell _____

Preparer of Subdivision or Site Plan (if different from above)

Name Arthur Chew Consulting, LLC Phone (609) 992-8409

Address 130 West Seaview Avenue, Linwood, NJ 08221

Fax _____ Cell _____

(Be sure to include all area codes and zip codes in the above)

10. If Site Plan Action is Required:

-What is the present use of the site and building(s)?
 Prior two-story building with pizza parlor (Tony Baloney's) on the Longport side and Sunrise Wine & Tequila on the Margate side of the structure. Building is currently being renovated.

-How will this be changed?
 Renovations to include safer flood-proofed walls, and the reconstruction of the footprint of the structure as it existed prior to the commencement of the renovation project, to provide for the public safety, health and welfare of the patrons of the establishment.

11. If Subdivision Action is Required:

-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)

Lot No(s)	Dimension(s)	Area(s)
N/A	x	S.F.
	x	S.F.
	x	S.F.

-Purpose of the Subdivision

- To sell lot(s)
- To build and sell homes (or other buildings)
- Other (please explain): _____

12. If Variances are Required:

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): Prior two-story building with Pizza Parlor and Bar/Liquor Store. The structure is presently being renovated.

-Proposed use: Outside open lounge area on the second story of the structure. The 2 existing non-conforming apartments on the 2nd level have been removed. Completion of renovations.

-If a "D" or "Use" Variance is required, please explain: _____

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
Building Coverage	60% / 2,600 sf.	94.8% / 4,125 sf.	94.8% / 4,125 sf.
Front Yard Setback	6 ft.	1.11 ft.	1.11 ft.
Side Yard Setback	3 ft. each / 10 ft. combined	0 ft.	0 ft.
Rear Yard Setback	5 ft.	1.38 ft.	1.38 ft.

13. Prior Action: Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

Prior approvals obtained by the City of Margate Planning Board on January 25, 2024. The Decision and Resolution from that meeting (9-2024) is attached hereto.

14. County and Other Agency Actions (Provide necessary dates and decisions):

Site Plan:

N/A

Subdivision:

N/A

Other:

N/A

15. Space for Narrative: In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

SEE ATTACHED RIDER

16. Signature of Applicant(s):

Date April 26, 2024

Eric S. Goldstein, Esquire - Attorney for Applicant

Date _____

17. This space for Board Administrator:

-Staff Committee action took place
_____ and case assigned to
the Planning Board for _____ or

-This application received by the
Planning Board Administrator on

By: _____

18. Notarized Statement by Applicant:

State of New Jersey } ss.

County of Atlantic }

Eric S. Goldstein _____, being duly

sworn according to law, deposes and says, that
the statements contained in the above application
and the statements contained in the papers
submitted herewith are true.

Sworn to and subscribed before me this 26th
day of April, 2024.

Cynthia Hollingshead

CYNTHIA HOLLINGSHEAD
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES OCTOBER 15, 2028
COMMISSION: #2439620

**RIDER
APRIL 26, 2024**

**9700 VENTNOR AVENUE
BLOCK 131, LOT 21
MARGATE, NEW JERSEY**

**SUNRISE WINE & TEQUILA, LLC
(APPLICANT)**

Sunrise Wine & Tequila, LLC previously obtained certain land use approvals from the City of Margate Planning Board for the expansion of the existing wine and tequila bar by adding an upstairs “open air” lounge area above what had been the first level of the premises which was occupied by the wine and tequila bar on one side of the property, along with the franchise for Tony Baloney’s restaurant on the other side of the first level.

At the time the applicant initially filed the land use application, it submitted an architectural plan from Baglivo Associates which included the installation of steel helical pilings at the property in order to support the construction that was originally proposed to occur on the second level.

The type of construction indicated on the plan is III-B, and the architect utilized the 2021 IBC Code, (New Jersey edition) to determine the required loads and support that would be necessary in order to properly make the renovations at the structure safe for patrons both upstairs and downstairs within the building.

During the Planning Board hearing for this matter on January 25, 2024, the Planning Board approved the property owner’s application and granted certain variance relief as more further set forth on the attached Decision and Resolution which was adopted by the City of Margate Planning Board on February 22, 2024.

The property owners have been diligently working on the property with their contractors, architect, and engineer to determine the safest way to construct the building in order to meet all of the appropriate codes to renovate the building to make it as safe as possible for future patrons to occupy the structure.

At the time the property owners began the first phase of non-structural demolition, it was determined by the project engineer that the walls of the building were not supported by a proper foundation, and the walls themselves (along with much of the interior structural support system) should be replaced in their existing location with more steel, concrete, and structural supports in order to provide for the public’s safety, health and welfare at the building.

Helical pilings, concrete, steel, and other structural supports have been installed at the property. However, due to the need to replace walls at the property, and due to the need to support those walls with steel and concrete, the old cinderblock walls at the property had to be replaced and still need replacement (for the walls that have not yet been reconstructed).

In this regard, City of Margate representatives - - Mr. McLarnon and Mr. Galantino had requested a meeting at the project site, which occurred on February 29, 2024 to discuss the project and how the property owner could ensure that it is built as safely as possible and as flood proofed as possible.

Both the public safety issue and the flood-proofing issue are, of course, of the utmost importance not only for the property owner but also for the City of Margate, as well as for FEMA's requirements.

In this regard, and out of an abundance of caution, the property owner has determined that it shall seek, based upon the city's present Base Flood Elevation requirements, FEMA's flood requirements, the Uniform Construction Code's requirements, and other planning and zoning considerations, to return to the City of Margate Planning Board for an update and amendment to the approvals that were previously obtained, in order to ensure that the structure which is ultimately built complies with all legal requirements of commercial structures such as this.

Presently, the construction at the property is proceeding at the owner's risk. The property owner is a responsible corporate citizen within the City of Margate and has agreed to do what the city directs it to do, in order to make sure that the structure safe and secure both from a structural standpoint and from a flood proofing standpoint as well.

Corporate Disclosure Form

Sunrise Wine and Tequila, LLC

(Corporation Name)

IN THE MATTER OF THE: MARGATE CITY PLANNING BOARD

APPLICATION OF Sunrise Wine and Tequila, LLC

(print applicant name)

Property Location

Block (131) Lot (21)

Brian Hiltner

(print applicant name)

, of full age, hereby certified the following factual information:

1. I am authorized to file this Certification on behalf of Sunrise Wine and Tequila, LLC the *(print corporation name)* owner of the property, which is the subject of this application.

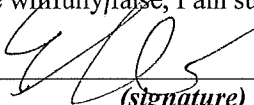
2. Sunrise Wine and Tequila, LLC is a limited liability company ~~corporation~~ organized *(print corporation name)* *(style of)* pursuant to the laws of the State of New Jersey.

3. The names and addresses of all persons having a 10% or greater ownership interest in Sunrise Wine and Tequila, LLC are as follows: *(print corporation name)*

- a. Brian Hiltner _____
- b. Dana Hartman _____
- c. _____

4. There are no other persons or entities having a 10% or greater interest in Sunrise Wine and Tequila, LLC. *(print corporation name)*

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.



(signature)

Eric S. Goldstein, Esquire Attorney for Applicant

(print name) *(title)*

Dated: (January 3, 2024)

LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested
1.	Submit the following documents with the Standard Development Application: a. Copy of an area map showing all lots within 200 feet of the property. b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law. c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines. d. Copies of subdivision, site plan or conditional use applications when applicable. e. Certification that taxes are paid.	X X X X X	
2.	If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable.	X	
3.	A statement containing the following information: a. Date of acquisition of property and from whom. b. The number of dwelling units in existing building(s). c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s). d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.	11/17/23 0 Owner No	
4.	Ten (10) folded copies of a plot plan, map or survey.		
	Checklist prepared by: <u>Eric S. Goldstein, Esquire</u> Checklist reviewed by City: _____ Application found complete on: _____ Application found incomplete on: _____	Date: <u>4/26/24</u> _____ Date: _____	

LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested	Reviewed*
1	Submit the following documents with the Standard Development Application:	✓		
	a. Copy of an area map showing all lots within 200 feet of the property	✓		
	b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law	✓		
	c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines	✓		
	d. Copies of subdivision, site plan or conditional use applications when applicable	N/A		
	e. Certification that taxes are paid	✓		
2	If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable	N/A		
3	A statement containing the following information:			
	a. Date of acquisition of property and from whom	✓		
	b. The number of dwelling units in existing building(s)	✓		
	c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s)	✓		
	d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval	✓		
4	Ten folded copies of a plot plan, map or survey	✓		
Checklist prepared by: <u>Eric S. Goldstein, Esquire</u> Date: <u>4.26.24</u> Checklist reviewed by Board: _____ Date: _____ Application found complete on: _____ Application found incomplete on: _____				

* For City use only.

LAND USE

175 Attachment 1

City of Margate City

Appendix A
Checklists for Applications
[Amended 10-4-2018 by Ord. No. 24-2018]

GENERAL REQUIREMENTS		Submitted	Waiver Requested	Reviewed*
1.	The appropriate application form (original and 10 photocopies). If any item is not applicable to the applicant, it should so be indicated on the application form(s)	✓		
2.	Affidavit of ownership. If applicant is not the owner, the applicant's interest in the land; e.g., tenant, contract/purchaser, lienholder, etc.	N/A		
3.	If a corporation or partnership, list the names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class as required by N.J.S.A. 40:55D-48.1 et seq.	✓		
4.	Number of witnesses proposed to be presented and their expertise, if any	2	Owner of Property & Planner/Engineer	
5.	Statement as to any requirements for which waiver is sought, together with a statement of reasons why waivers should be granted	✓		
6.	Four photographs of the site and buildings, plus 10 photocopies of same	✓		
7.	Ten copies of general requirements	✓		
Checklist prepared by: <u>Eric S. Goldstein, Esquire</u> Date: <u>4.26.24</u> Checklist reviewed by Board: _____ Date: _____ Application found complete on: _____ Application found incomplete on: _____				

* For City use only.

MARGATE CITY CODE

Minor Subdivision and Minor Site Plan Checklist

APPLICATION FOR APPROVAL OF MINOR SUBDIVISIONS AND MINOR SITE PLANS (Page 1 of 2)		Submitted	Waiver Requested	Review*
	If waiver is requested, reasons shall be indicated in separate submission			
1.	Plat or plan drawn and sealed by a P.E., L.S., P.P. or R.A. as permitted by law and based on a current survey	✓		
2.	Scale: 1" = 50' or as approved by Board Engineer	✓		
3.	Current survey upon which plat or plan is based	✓		
4.	Map size: 24" x 36"	✓		
5.	Key map: 1,000-foot radius, street names, zoning districts	✓		
6.	Title block and basic information:	✓		
	a. Title	✓		
	b. Date of original preparation and date(s) of revision	✓		
	c. North arrow and reference meridian	✓		
	d. Ratio scale and graphic scale	✓		
	e. Tax map block, lot numbers and zone	✓		
	f. Name, address and license number of person preparing plat or plan, signed and sealed	✓		
	g. Name and address of owner of record and applicant, if different from the owner	✓		
7.	Signature of the applicant, and, if the applicant is not the owner, the signed consent of the owner	✓		
8.	A map of the entire tract or property showing the location of that portion to be divided therefrom, giving all distances and showing all roads abutting or transversing the property. Development boundaries shall be clearly delineated	N/A		
9.	The name of all adjoining property owners as disclosed by the most recent City tax records	✓		
10.	Names of adjoining municipalities within 200 feet	✓		
11.	The location of existing and proposed, including details:	✓		
	a. Property lines	✓		
	b. Streets (with right-of-way widths)	✓		
	c. Buildings (with an indication as to whether existing buildings will be retained or removed)	✓		
	d. Buildings within 200 feet of the site	✓		
	e. Parking spaces and loading areas	✓		
	f. Roadways, driveways and curbs	✓		
	g. Watercourses	✓		
	h. Bridges	✓		
	i. Drainage pipes and other improvements			
	j. Natural features and treed areas, both on the tract and within 200 feet of its boundary		✓	
	k. Sewer, water and other utilities		✓	
	l. Lighting including photometrics and landscaping		✓	
	m. Signage including details		✓	
	n. Refuse areas	✓		
	o. Soil erosion and sediment control plan	N/A		

* For City use only.

LAND USE

Minor Subdivision and Minor Site Plan Checklist (Cont'd)

APPLICATION FOR APPROVAL OF MINOR SUBDIVISIONS AND MINOR SITE PLANS (Page 2 of 2)		Submitted	Waiver Requested	Reviewed*
12.	Area in square feet of all existing and proposed lots; number of new lots created	N/A		
13.	Bearings and distances of all existing and proposed property lines with any existing lot lines to be eliminated by the proposed subdivision clearly indicated	N/A		
14.	Sufficient elevations or contours at one-foot intervals, including finished grades and finished floor elevations	N/A		
15.	The location and width of all existing and proposed utility, drainage and other easements, including but not limited to, sight triangle easements	N/A		
16.	Front, side, and rear setback lines	N/A		
17.	Chart of the zoning requirements for the zone, what is proposed, and variances indicated	N/A		
18.	Delineation of flood plain and wetlands areas	N/A		
19.	A copy of any protective covenants or deed restrictions applying to the lands being subdivided or developed	N/A		
20.	Ten sets of folded plans	N/A		
21.	For subdivisions, if the applicant intends to file the approved subdivision with the County, the plat shall be prepared in compliance with the "Map Filing Act," P.L. 1960, c.141 (C.46.2309.9 et seq.) and bear the signature block	N/A		
Checklist prepared by: <u>Eric S. Goldstein, Esquire</u> Date: <u>4.26.24</u> Checklist reviewed by Board: _____ Date: _____ Application found complete on: _____ Application found incomplete on: _____				

* For City use only.

MARGATE CITY CODE

Preliminary Major Subdivision and Site Plan Checklist

APPLICATION FOR PRELIMINARY APPROVAL OF MAJOR SUBDIVISIONS AND SITE PLANS (Page 1 of 3)		Submitted	Waiver Requested	Reviewed*
	If waiver is requested, reasons shall be indicated in separate submission	N/A		
1.	Plat or plan drawn and sealed by a P.E., L.S., P.P. or R.A. as permitted by law and based on a current survey	N/A		
2.	Scale: 1" = 50' or as approved by Board Engineer	N/A		
3.	Current survey upon which plat or plan is based, signed and sealed	N/A		
4.	Map size: 24" x 36"	N/A		
5.	Title block and basic information:	N/A		
	a. Title	N/A		
	b. Date of original preparation and date(s) of revision	N/A		
	c. North arrow and reference meridian	N/A		
	d. Ratio scale and graphic scale	N/A		
	e. Tax map block, lot numbers and zone	N/A		
	f. Name, address and license number of person preparing plat or plan	N/A		
	g. Name and address of owner of record and applicant, if different from the owner	N/A		
	(Where more than one sheet is required, the above information shall appear on each sheet and all sheets shall be appropriately labeled, numbered and bound.)	N/A		
6.	The first sheet of a series of plats or plans submitted for preliminary approval shall contain, in addition to the above, the following:	N/A		
	a. A key map at a scale of 1" = 400' or less showing zone boundaries	N/A		
	b. The names and addresses, lot and block numbers of all property owners within 200 feet of the tract boundary line	N/A		
	c. Signature blocks for the Board Chairperson, Board Administrator and Board Engineer	N/A		
	d. Chart of the zoning requirements for the zone, what is proposed, and variances indicated	N/A		
7.	Existing and proposed contours at one-foot intervals	N/A		
8.	For site plans, a grading plan showing, at one-foot contour intervals, existing and proposed contours and elevations	N/A		
9.	The location of existing watercourses and any natural features, including floodplains and wetlands on the site and within 50 feet	N/A		
10.	The area of the tract to be subdivided or developed in square footage and the location, lot area, width and depth of any existing lot or lots proposed to be subdivided	N/A		

* For City use only.

LAND USE

Preliminary Major Subdivision and Site Plan Checklist (Cont'd)

APPLICATION FOR PRELIMINARY APPROVAL OF MAJOR SUBDIVISIONS AND SITE PLANS (Page 2 of 3)		Submitted	Waiver Requested	Reviewed*
11.	Location of all existing and proposed buildings and subsurface structures, with building setbacks, front, side and rear yard distances	N/A		
12.	Location of all structures within 200 feet of the property	N/A		
13.	A stormwater management plan including construction details showing the location, type and size of any existing and proposed bridges, culverts, drainpipes, catch basins and other storm drainage facilities, including Stormwater Analysis Report	N/A		
14.	A soil erosion and sediment control plan	N/A		
15.	A circulation plan showing proposed vehicle, bicycle and pedestrian circulation systems. The plan shall include the locations, typical cross-sections, center line profiles, width of right-of-way, edge of pavement, curbs, sidewalks and type of paving for all proposed new streets and paths. Road crosssections shall be every 50 feet along center line. Profile shall be at a scale of one inch equals five feet vertical; one inch equals 50 feet horizontal	N/A		
16.	Plans of proposed potable water, sanitary sewer utility systems showing feasible connections to existing or any proposed system	N/A		
17.	Location of any proposed off-street parking areas and driveways with sight distance profiles, with dimensions showing parking spaces, loading docks and access drives and a traffic circulation pattern showing all ingress and egress to the site	N/A		
18.	Location and description of all proposed signs and exterior lighting, including details	N/A		
19.	Provision for storage and disposal of solid wastes	N/A		
20.	For site plans, the preliminary floor plans and preliminary building elevation drawings showing all sides of any proposed building or buildings	N/A		
21.	All proposed buffers, landscaping, fences, walls, hedges or similar facilities. The landscaping plan shall show in detail the location, size and type of all plant material, including ground cover, to be used on the site. Common names of all landscaping material shall be indicated	N/A		
22.	A copy of any protective covenants or deed restrictions applying to the land and being subdivided or developed and a notation on the plat or plan of any easements required by the Board, such as but not limited to sight triangle easements. Said easements may also include utility lines, public improvements and ingress and egress for emergency vehicles	N/A		

* For City use only.

MARGATE CITY CODE

Preliminary Major Subdivision and Site Plan Checklist (Cont'd)

APPLICATION FOR PRELIMINARY APPROVAL OF MAJOR SUBDIVISIONS AND SITE PLANS (Page 3 of 3)		Submitted	Waiver Requested	Reviewed*
23.	A copy of such guarantees, covenants, master deed or other document which shall satisfy the requirements of the Board for the construction and maintenance of any proposed common areas, landscaping, recreational areas, public improvements and buildings	N/A		
24.	A list of all licenses, permits or other approvals required by law, including proof of service	N/A		
25.	A letter of intent stating the following: type of structures to be erected, nature of nonresidential use, if any, approximate date of construction start and estimated number of lots on which final approval will be requested	N/A		
26.	The Board may require the applicant to submit a traffic impact statement as part of preliminary approval if, in the opinion of the Board, the development could have an adverse effect on off-site traffic and circulation	N/A		
31.	Applicant shall submit 10 sets of folded plans	N/A		
Checklist prepared by: <u>Eric S. Goldstein, Esq</u> Date: <u>4.26.24</u> Checklist reviewed by Board: _____ Date: _____ Application found complete on: _____ Application found incomplete on: _____ Applicant notified on: _____				

* For City use only.

LAND USE

Final Major Subdivision and Site Plan Checklist

APPLICATION FOR FINAL APPROVAL OF MAJOR SUBDIVISIONS AND SITE PLANS (Page 1 of 2)		Submitted	Waiver Requested	Reviewed*
	If waiver is requested, reasons shall be indicated in separate submission	N/A		
1.	Plat or plan drawn and sealed by a P.E., L.S., P.P. or R.A. as permitted by law and based on a current survey	N/A		
2.	Scale: 1" = 50' or as approved by Board Engineer	N/A		
3.	Current survey upon which plat or plan is based, signed and sealed	N/A		
4.	Map size: 24" x 36"	N/A		
5.	Title block and basic information:	N/A		
	a. Title	N/A		
	b. Date of original preparation and date(s) of revision	N/A		
	c. North arrow and reference meridian	N/A		
	d. Ratio scale and graphic scale	N/A		
	e. Tax map block, lot numbers and zone	N/A		
	f. Name, address and license number of person preparing plat or plan	N/A		
	g. Name and address of owner of record and applicant, if different from the owner	N/A		
	(Where more than one sheet is required, the above information shall appear on each sheet and all sheets shall be appropriately labeled, numbered and bound.)	N/A		
6.	Tract boundary lines, right-of-way lines of streets, street names, easements and other rights-of-way, land to be reserved or dedicated to public use, all lot lines and other site lines, with accurate dimensions, bearings or deflection angles, radii arcs and central angles of all curves, or as required by the Map Filing Act	N/A		
7.	The purpose of any easement or land reserved or dedicated to public use, such as but not limited to sight triangle easements, and the proposed use of sites other than residential	N/A		
8.	The front, side and rear building setback lines	N/A		
9.	Improvement plans in accordance with the City standards for roads and utilities	N/A		
10.	Statement that the final plan is consistent with preliminary plan, and if not, how and why they differ	N/A		
11.	All additional information, changes or modifications required by the Board at the time of preliminary approval	N/A		
12.	A statement from the City Engineer that all improvements required by the Board for preliminary approval have been installed in compliance with all applicable laws	N/A		

* For City use only.

MARGATE CITY CODE

Final Major Subdivision and Site Plan Checklist (Cont'd)

APPLICATION FOR FINAL APPROVAL OF MAJOR SUBDIVISIONS AND SITE PLANS (Page 2 of 2)		Submitted	Waiver Requested	Reviewed*
13.	If improvements have not been installed, then a statement from the City Clerk shall accompany the application for final approval stating that:	N/A		
	a. A recordable developer's agreement with the City has been executed	N/A		
	b. A satisfactory performance guarantee has been posted	N/A		
	c. That the City has received all escrow and inspection fees	N/A		
14.	Proof that all taxes and assessments for local improvements on the property have been paid	N/A		
15.	If the requirement improvements have been installed, the application for final approval shall be accompanied by a statement from the City Clerk that a satisfactory maintenance bond has been posted	N/A		
16.	Applicant shall submit 10 sets of folded plans	N/A		
17.	A letter from the Fire Department, signed by the Chief, stating that waterlines and fire hydrants are adequate for fire protection	N/A		
<p>Checklist prepared by: <u>Eric S. Goldstein, Esq</u> Date: <u>4.26.24</u></p> <p>Checklist reviewed by Board: _____ Date: _____</p> <p>Application found complete on: _____</p> <p>Application found incomplete on: _____</p>				

* For City use only.

City of Margate City
Staff Committee Review Application
Please Type or Print Neatly • \$25 Submittal Fee

Office Use Only:	Date Submitted: _____ Paid: _____ Check/Receipt #: _____	Received By: _____ Board Administrator or Zoning Officer
-------------------------	---	---

Staff Committee meetings are held as needed. Contents must comply in all particulars with the Administrative Regulations for Processing Planning Board Applications, sections on Staff Committee Review. The Board Administrator and other City Hall staff will answer reasonable questions regarding this procedure. They cannot, however, fill out these forms for you.

1. Date of Application: 3/20/2024
2. Submitted by – Name: Sunrise Wine & Tequila, LLC Phone No.: (609) 703-4789
Address: 428 N. Pembroke Avenue, Margate, NJ 08402
Email Address: dandbpembroke@gmail.com
3. If the party submitting this form is other than the potential Applicant for Board action (attorney, architect, builder, engineer, etc.), then who would the APPLICANT be?
Name: Eric S. Goldstein, Esquire Phone No.: (609) 927-1177
Address: Nehmad Davis & Goldstein, PC, 4030 Ocean Heights Avenue, Egg Harbor Township, NJ 08234
Email Address: egoldstein@ndglegal.com
4. The applicant would be (Check one):
 Owner Buyer under Agreement of Sale
 Tenant Other: _____
5. If the applicant for Board action would be Tenant or Buyer, who is the present OWNER?
Name: Same as above Phone No.: _____
Address: _____

6. **Proposed Action is Located as Follows:**
Street Address: 9700 Ventnor Avenue Block: 131 Lot(s): 21
Zoning District: Commercial Zoning District

7. Describe site (and buildings, if any) as existing now: (THIS SECTION MUST BE COMPLETED)
Former two story building with a pizza parlor (Tony Baloney's) on the "Longport Side" and
Sunrise Wine and Tequila on the "Margate Side" of the structure.

Two non-conforming residential apartments on the 2nd story of the structure have been
eliminated as part of this application.

See attached Rider for additional information.

8. Answer the following as to:	<u>Existing Condition</u>	<u>Proposed Condition</u>
a. Size and Dimension of Lot:	4,350 sf.	4,350 sf.
b. Size, Dimensions of Buildings:	50 ft. x 87 ft.	50 ft. X 87 ft.
c. Height of Buildings (Feet):	26 ft. above curb	
d. Height of Buildings (Stories):		
e. % of Coverage on Land:	94.8% - 4,125 sf.	
f. Front Yard Setback:	1.11 ft.	
g. Rear Yard Setback:	1.38 ft.	
h. Side Yard Setbacks:	0 ft.	

9. According to the Administrative Regulations, a scaled drawing must accompany this Application. If available, a survey would be appreciated. In addition, use this space to provide a detailed narrative description of the proposed action. Attach additional paper, if necessary:

(THIS SECTION MUST BE COMPLETED)

See attached Rider

10. Although the Staff Committee will determine the correct legal steps, what are the actions requested. (check more than one, if applicable):

- | | |
|---|---|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Site Plan |
| <input checked="" type="checkbox"/> C-Variance(s) | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> D-(Use) Variance | <input type="checkbox"/> Other: _____ |

11. Which variances are needed, if any? _____

12. IF THERE HAS BEEN ANY PREVIOUS STAFF COMMITTEE OR FORMAL BOARD APPLICATION AND/OR ACTION ON THIS PROPOSAL PROPERTY, PLEASE ATTACH RELEVANT DOCUMENTS, AND PROVIDE INFORMATION HERE: See attached prior Decision and Resolution from City of Margate Planning Board

Signature of Submitting Party:  _____

Print or Type Name: Eric S. Goldstein, Esquire - Attorney for Applicant



**City of Margate City
Staff Committee Action - Planning Board**

Block	Lot	Applicant Name
131	21	Sunrise Wine and Tequila LLC
District	Address of Subject Application	
C-2	9700 Ventnor Avenue	

Dear (Name of Submitting Party) Eric S. Goldstein, Esq.

Your submittal was considered at the Staff Committee meeting of Thursday, April 04, 2024

The action(s) required prior to building permit are:

"c" variances and major site plan approval required. Due to nature of structural wall replacement it is a major site plan. Staff committee wants the trash and recycling issue addressed as approval is being sought as it is essentially a new structure now.

The matter will be placed on the agenda of the Planning Board at 6:30PM on Thursday, May 30, 2024

Applications will be accepted on a first-come first-served basis. If the agenda becomes over-crowded, you will be rescheduled the following month. If you decide, for whatever reason, not to appear on this date, you must notify the Board Administrator as early as possible. The following month's agenda cannot be guaranteed.

The following conditions and special considerations must be addressed as part of your application to the Board:

Use of the adjacent property as trash easement will not be honored for site plan approval.

APPLICATION FEES:

D Variance:	\$0.00	Court Reporter:	\$0.00
C Variance:	\$250.00	Other:	\$0.00
Site Plan:	\$750.00	engineering and planning	\$1,500.00
Subdivision:	\$0.00		\$0.00
Conditional Use Permit:	\$0.00		\$0.00

Applicant shall combine all application fees into one separate check made out to the City of Margate. Escrow fees shall be a separate check made out to the City of Margate. NOTE: If an Escrow deposit is requested, a W9 form must be submitted with the Escrow check. Any Escrow funds will be refunded to the name and address indicated on the W9 form.

Please note that in proceeding further with the formal Board Application, you are responsible for satisfying all of the checklist particulars in the appropriate section(s) of the Administrative Regulations. The instructions and checklist for your particular application can be found on the following pages of this booklet: 1-19

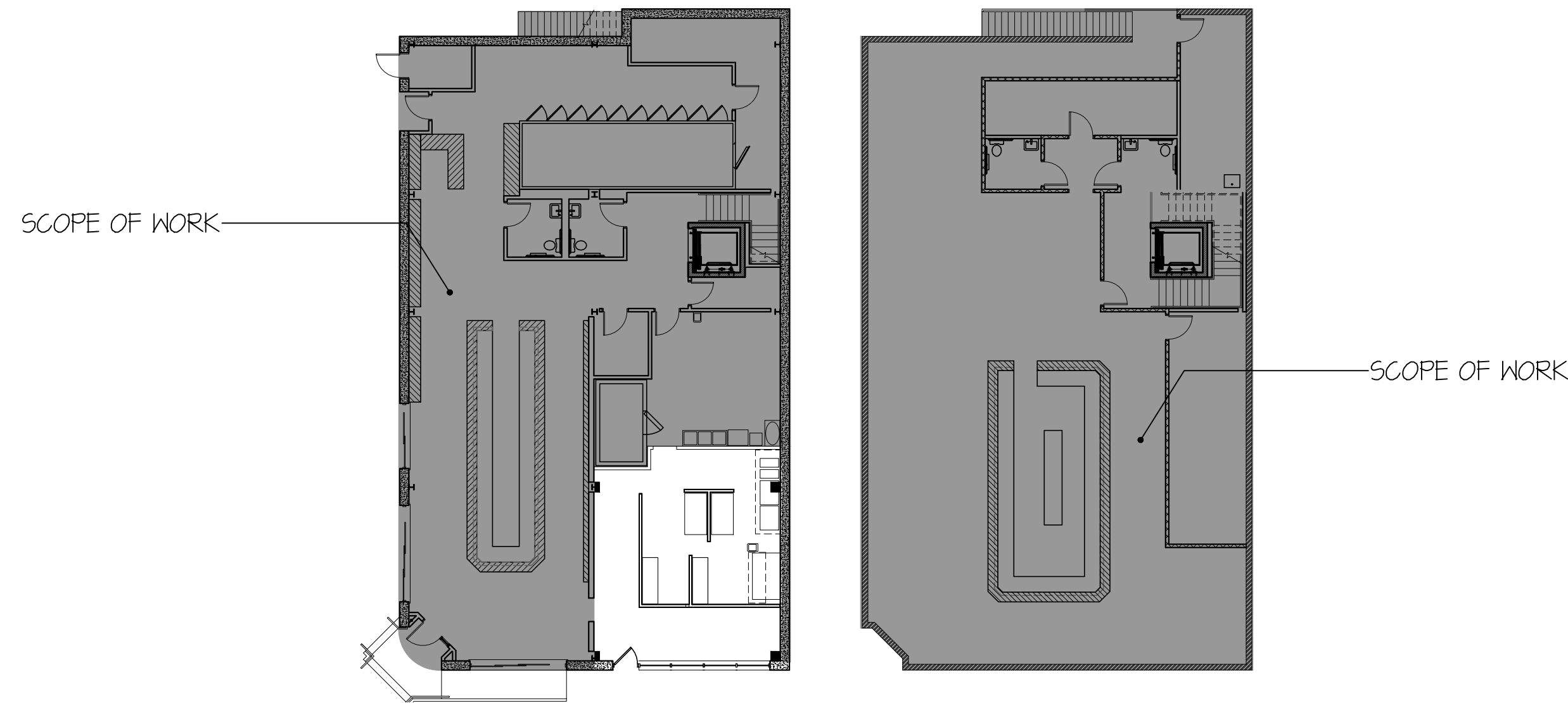
You must also comply with the more detailed requirements of the Margate City Land Development Ordinance.

In order for you to be able to appear on the Board Agenda as per the above date, all application material must be submitted by 11:00am, Wednesday, May 08, 2024

Palma Accardi
Planning Board Administrator
Thursday, April 04, 2024

SUNRISE BAR

9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402



NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA: 15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



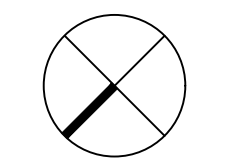
BAGLIVO ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW	12.29.2023
LEVEL 1 ISSUED FOR PERMIT	01.03.2024
ISSUED FOR REVIEW	01.15.2024
ISSUED FOR REVIEW	02.13.2024
ISSUED FOR PRICING	02.15.2024
ISSUED FOR PRICING	02.22.2024
ISSUED FOR REVIEW	02.29.2024
ISSUED FOR REVIEW	03.20.2024
ISSUED FOR PERMIT	03.25.2024

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter in any way on these sealed documents, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Project **NORTH**

SUNRISE BAR

FIRST & SECOND FLOOR
9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402

File Name
9700 Ventnor Ave_Monroe_Sunrise Bar_CD_030124.dwg

Scale

AS NOTED

Date

03.25.2024

Drawn By

NB / JKH

Project Number

2023-012

Drawing Title

COVER SHEET

Drawing Number

CS

INDEX OF DRAWINGS

CS	COVER SHEET
D1	LEVELS ONE & TWO DEMOLITION PLANS
A1	LEVELS ONE & TWO ARCHITECTURAL PLANS
A1.1	DOOR SCHEDULE & ADA RESTROOM DETAILS
A2	LEVELS ONE, TWO, & ROOF REFLECTED CEILING PLANS
A3	LEVELS ONE & TWO ELECTRICAL PLANS
A4	LEVELS ONE & TWO LIFE SAFETY PLANS
A5	FRONT & SIDE EXTERIOR ELEVATIONS

CODE INFORMATION

PLUMBING FIXTURE COUNT	REQUIRED	PROVIDED
MEN		
TOILETS.....	2	2
SINKS.....	2	2
WOMEN		
TOILETS.....	2	2
SINKS.....	2	2
JANITOR'S SINKS	1	1

ZONING CODE INFORMATION

CODE USED	2021 IBC CODE, NJ EDITION
CONSTRUCTION CLASSIFICATION	III-B

9700 VENTNOR AVENUE	C-2 ZONING DISTRICT, OVERLAY DISTRICT	BLOCK 131 LOT 21	SECOND FLOOR ONLY
---------------------	---------------------------------------	------------------	-------------------

REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	4,000 SF	4,350 SF	4,350 SF CONFORMING
MIN. LOT WIDTH	50'	50'	50' CONFORMING
BUILDING COVERAGE	60% - 2610.0 SF	44.8% - 4,125.0 SF	NON-CONFORMING
FRONT YARD	6'	1.11'	NON-CONFORMING
SIDE YARD	3' EACH ; 10' COMBINED	0'	NON-CONFORMING
REAR YARD	5'	1.38'	NON-CONFORMING
BUILDING HEIGHT	34' ABOVE CURB	33'-6" ABOVE CURB	CONFORMING
PARKING BAR	89 OCCUPANTS/10 = 9 PARKING SPACES	0 PROVIDED	NON-CONFORMING

CODE INFORMATION

CODE REFERENCE
2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
2020 NEC (NFPA 70) NATIONAL ELECTRIC CODE
2021 NATIONAL STANDARD PLUMBING CODE INTERNATIONAL ENERGY CODE ASHRAE 90.1-2019
2021 INTERNATIONAL MECHANICAL CODE ANSI 111.1-2017 / NEW JERSEY BARRIER FREE SUBCODE
2021 INTERNATIONAL FIRE CODE NFPA 72 2017 EDITION

USE GROUP CLASSIFICATION
ASSEMBLY - A2 / MERCANTILE - M

CONSTRUCTION CLASSIFICATION
IIIB

FIRE PROTECTION
THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, IN ACCORDANCE WITH NFPA #13.

OCCUPANCY CAPACITY ALLOWABLE
ASSEMBLY - A2
FIRST FLOOR: 1,612 OCCUPIED SF @ 15 NET SF PER PERSON
SECOND FLOOR: 2,684 SF @ 15 NET SF PER PERSON
286 OCCUPANTS

MERCANTILE - M
FIRST FLOOR: 566 SF @ 60 SF PER PERSON
9 OCCUPANTS

OCCUPANCY CAPACITY PER PLAN
MAXIMUM OCCUPANCY OF 99 PER PLAN, INCLUDES EMPLOYEES & CUSTOMERS

TRAVEL DISTANCE ALLOWABLE
200'-0"

TRAVEL DISTANCE BY PLAN
183'-11"

ALL INTERIOR FINISHES & TRIM TO BE IN ACCORDANCE WITH ASTM, NFPA, AND CHAPTER 8 OF IBC 2021. THEY SHALL MEET OR EXCEED THE REQUIRED FLAME SPREAD RATINGS AND BE PROPERLY CLASSIFIED.

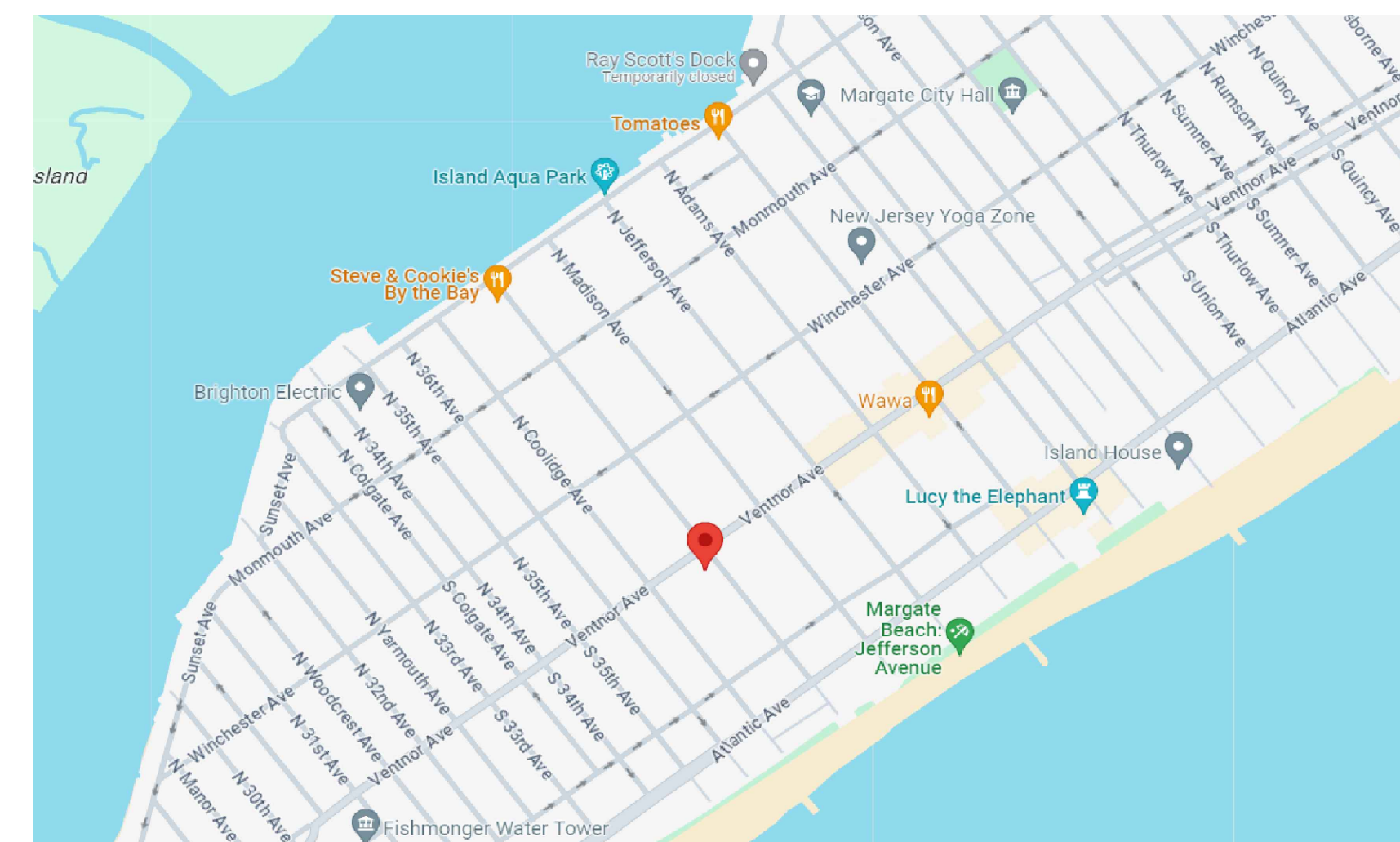
PROJECT DIRECTORY

BUILDING OWNERS
DANA & BRIAN HILTNER
801T VENTNOR AVENUE
MARGATE CITY, NJ 08402

CONTRACTOR
BILLY STERNBERG
B.O.B. CONSTRUCTION
REMODELANDRENT@GMAIL.COM

ARCHITECT
THOMAS P. BAGLIVO, AIA
BAGLIVO ASSOCIATES
472 NORRISTOWN ROAD
BLUE BELL, PA 19422
TBAGLIVO@BAGLIVOASSOCIATES.COM
PHONE: 610.277.7107

SITE MAP



NOTE:
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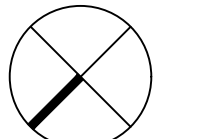
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NORTH

Project
SUNRISE BAR

FIRST & SECOND FLOOR
9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402

File Name	9700 Ventnor Ave_Monroe_Sunrise Bar_CD_030124.dwg
Scale	AS NOTED
Date	03.25.2024
Drawn By	NB / JKH
Project Number	2023-012
Drawing Title	LEVELS ONE & TWO ARCHITECTURAL PLANS
Drawing Number	

A1

ARCHITECTURAL LEGEND

- EXISTING PARTITION TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL NEW BUILDING STANDARD PARTITIONS FROM FLOOR TO UNDERSIDE OF DECK, UNO. SEE PARTITION TYPE 1/A11.
- NEW LEVEL ONE FOX BLOCK WALL. SEE DETAIL 2/A11.
- NEW LEVEL TWO CONCRETE KNEE WALL. SEE DETAIL 2/A11.
- NEW EXTERIOR WATER / HEATHER PROOF WALL.
- INDICATES EXISTING DOOR, FRAME & HARDWARE TO BE RE-INSTALLED IN EXISTING LOCATION UNO.
- INDICATES NEW DOOR ASSEMBLY, MATCH BUILDING STANDARD. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- NEW MILLWORK TO BE INSTALLED.

ARCHITECTURAL NOTES

- FRA FLOOD PANEL TO BE INSTALLED. COORDINATE WITH VENDOR FOR EXACT DETAILS, LOCATIONS, AND SPECIFICATIONS.
- CROP TOP OF WALL AS REQUIRED FOR RE-INSTALLATION OF EXISTING STAIR.

ARCHITECTURAL NOTES

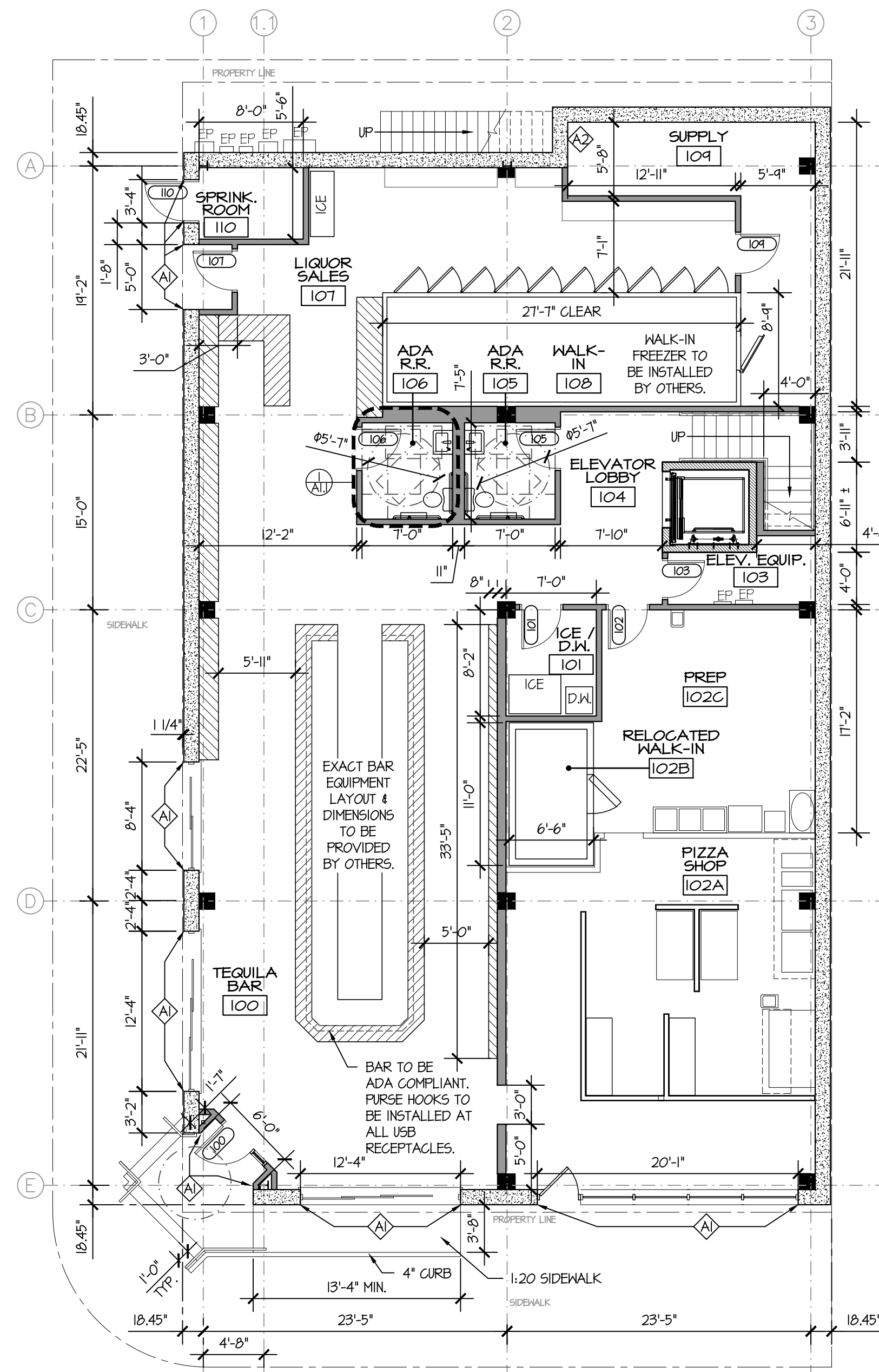
- PROTECTION: CONTRACTOR TO PROVIDE TEMPORARY PROTECTION IN ALL BUILDING CORRIDORS USED THROUGHOUT NEW CONSTRUCTION, AND IN ALL EXISTING AREAS TO REMAIN. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
- EGRESS: CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT NEW CONSTRUCTION.
- SHUTDOWN: CONTRACTOR TO CONTACT BUILDING MANAGEMENT TO SCHEDULE A SHUTDOWN WHEN IT BECOMES NECESSARY TO TEMPORARILY DISRUPT SYSTEMS TO PERMIT DEMOLITION. CONTRACTOR TO ALLOW MINIMUM OF 24 HOURS ADVANCE NOTICE FOR ANY SHUTDOWN. ALL REQUESTS AND APPROVALS FOR SHUTDOWNS MUST BE IN WRITING.
- LIGHTING: CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF NEW CONSTRUCTION.
- HVAC: CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
- CHALK LINE REVIEW: CONTRACTOR TO CONTACT BUILDING MANAGEMENT AND BAGLIVO ASSOCIATES FOR REVIEW OF CHALK LINES PRIOR TO START OF CONSTRUCTION.
- BLOCKING: PROVIDE FIRE TREATED WOOD BLOCKING IN ALL NEW PARTITIONS WHERE REQUIRED FOR FURNITURE, SHELVING, MILLWORK, INSTALLATION AND WALL MOUNTED TELEVISIONS.
- BACKER PANEL: NEW 4x8' PAINTED FIRE-TREATED PLYWOOD PANEL FOR SERVER AND TELEPHONE EQUIPMENT.
- WINDOWS: CONTRACTOR TO REPAIR WINDOW SILLS, JAMBS AND HEADS AS REQUIRED AT ALL PERIMETER WINDOWS.
- BLINDS: PROTECT EXISTING BLINDS DURING DEMOLITION AND NEW CONSTRUCTION. PULL TO TOP POSITION AND BAG. BLINDS TO BE CLEANED/REPAIRED AS REQUIRED FOR LIKE NEW OPERATION.
- RECEPTACLES: AT NEW PARTITIONS TO BE CONSTRUCTED; CONTRACTOR TO PROVIDE AND COORDINATE STUD SPACINGS WITH CRITICAL RECEPTACLE LOCATIONS.
- FLOOR AND WALL: PREPARE SUBSTRATE TO RECEIVE NEW FINISHES. SKIM-COAT PARTITIONS AS REQUIRED.
- SINK: PROVIDE A.D.A. COMPLIANT S.S. SINK AND FITTINGS. PROVIDE HOT AND COLD WATER CONNECTIONS, DRAIN AND ALL PLUMBING.
- WATER CONNECTIONS: USE NEW COPPER PIPING FOR COLD WATER CONNECTION.

GENERAL NOTES

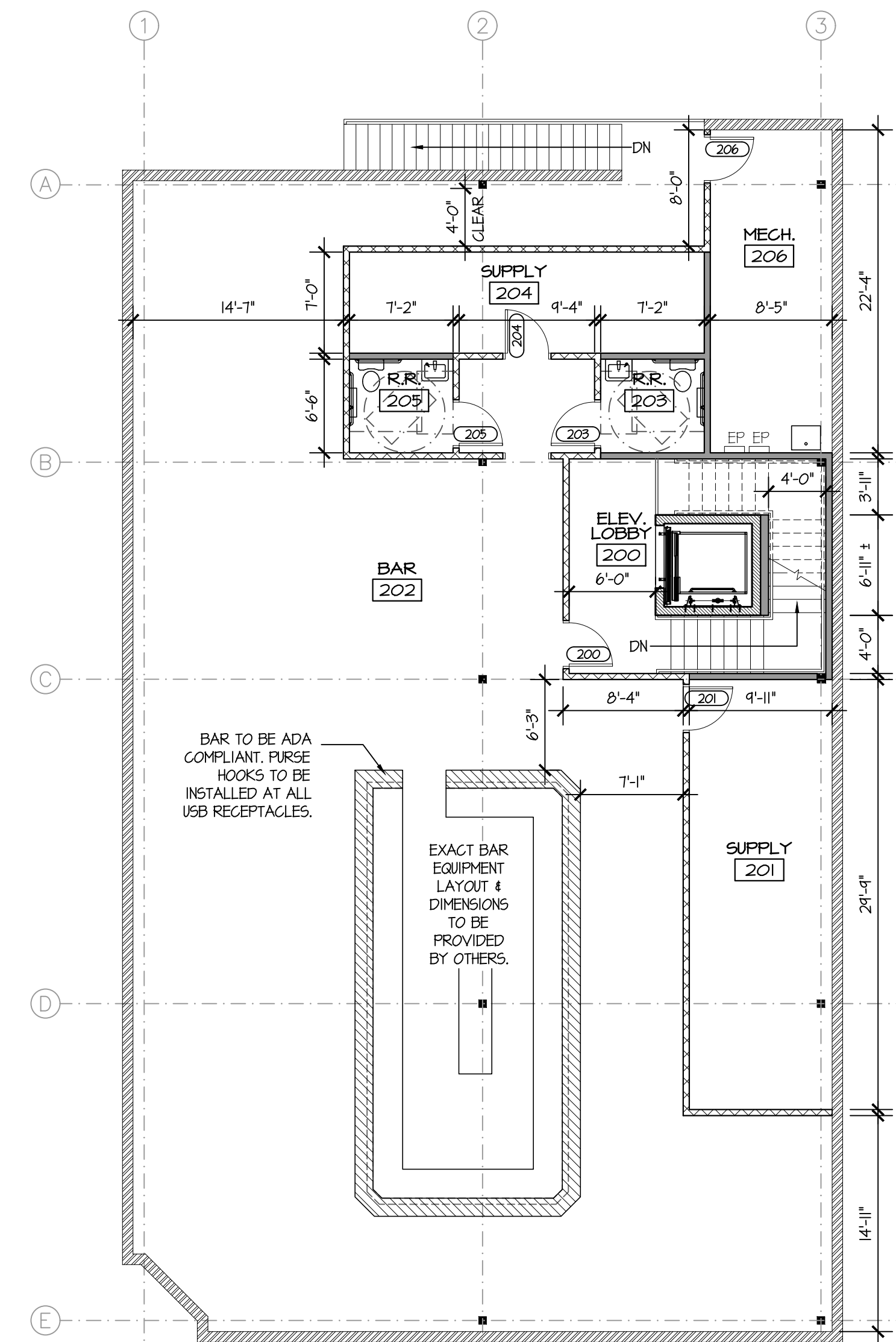
- DISCREPANCIES: CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS AND SPECIFICATIONS AND NOTIFY BAGLIVO ASSOCIATES OF ANY CONFLICTING INFORMATION INCLUDING, BUT NOT LIMITED TO PRODUCT SPECIFICATIONS, DIMENSIONS, FIELD CONDITIONS AND DISCREPANCIES AFFECTING NEW LAYOUT. DO NOT MAKE ASSUMPTIONS.
- BUILDING COORDINATION: CONTRACTOR TO VERIFY ALL BUILDING STANDARD REQUIREMENTS, FINISHES & SPECIFICATIONS PRIOR TO BID AND CONSTRUCTION. CONTRACTOR TO COMPLETE ALL BASE BUILDING CONSTRUCTION PER BUILDING STANDARDS, COORDINATE WITH BUILDING OWNER / OWNER.
- PRICING: PRICING TO INCLUDE COMPLETE INSTALLATION OF ALL MATERIALS, INCLUDING, BUT NOT LIMITED TO REQUIRED PREP WORK, ADHESIVE, TAXES, FREIGHT, DELIVERY, INSTALLATION, STORAGE, OVERHEAD AND PROFIT.
- CODES: CONTRACTOR TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL LOCAL, STATE AND FEDERAL LIFE SAFETY REGULATIONS AND CODES, INCLUDING BUT NOT LIMITED TO, ACCESSIBLE ROUTES FOR ACCESS TO BUILDING ENTRANCE AND OTHER BASE BUILDING AREA SUCH AS TOILET ROOMS, STAIRS, ELEVATORS, ETC.
- PERMITS: CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS AND LICENSES REQUIRED.
- DUMPSTER: CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER WITH BUILDING MANAGEMENT.
- EXISTING CONDITIONS TO BE REISED SHALL BE CLEANED AND REPAIRED AS REQUIRED FOR "LIKE NEW" APPEARANCE AND OPERATIONAL CONDITION AND PRESERVE DURING CONSTRUCTION OPERATIONS INCLUDING BLINDS, HEATING UNITS, CONVECTOR COVERS, ETC.
- FLOOR: LEVEL AND PREPARE EXISTING CONCRETE FLOOR SLABS AS REQUIRED TO PROVIDE A LEVEL SURFACE WITH A VARIANCE OF NO MORE THAN 1/4" IN 10 FEET.
- REPAIR ALL EXISTING WALL AND CEILING WHERE DAMAGED BY DEMOLITION OR OTHER CONSTRUCTION WORK, AND PREPARE TO RECEIVE SPECIFIED FINISH.
- CLOSE, FILL OR STOP ALL OPENINGS IN FLOORS, CEILING OR OTHER RATED ASSEMBLIES.
- HVAC: INSPECT AND ENSURE THAT ALL EXISTING SYSTEMS ARE OPERATIONAL UPON COMPLETION.
- HVAC: CONFIRM EXISTING HVAC IN NEW SPACE HAS ADEQUATE DISTRIBUTION
- RECONFIGURE HVAC, SPRINKLERS AND FIRE ALARM AS REQUIRED TO MEET NEW LAYOUT.
- THERMOSTATS: ALL NON DIGITAL THERMOSTATS TO BE REPLACED WITH DIGITAL THERMOSTATS
- COATS: CHROME ROD WITH PAINTED WOOD SHELF ABOVE WITH LOWER PORTION TO MEET A.D.A. REQUIREMENTS.
- APPLIANCES: MAINTENANCE AND REPAIR OF APPLIANCES PURCHASED AND INSTALLED BY CONTRACTOR ARE THE RESPONSIBILITY OF THE OWNER OUTSIDE OF THE WARRANTY.

ACCESSIBILITY NOTES

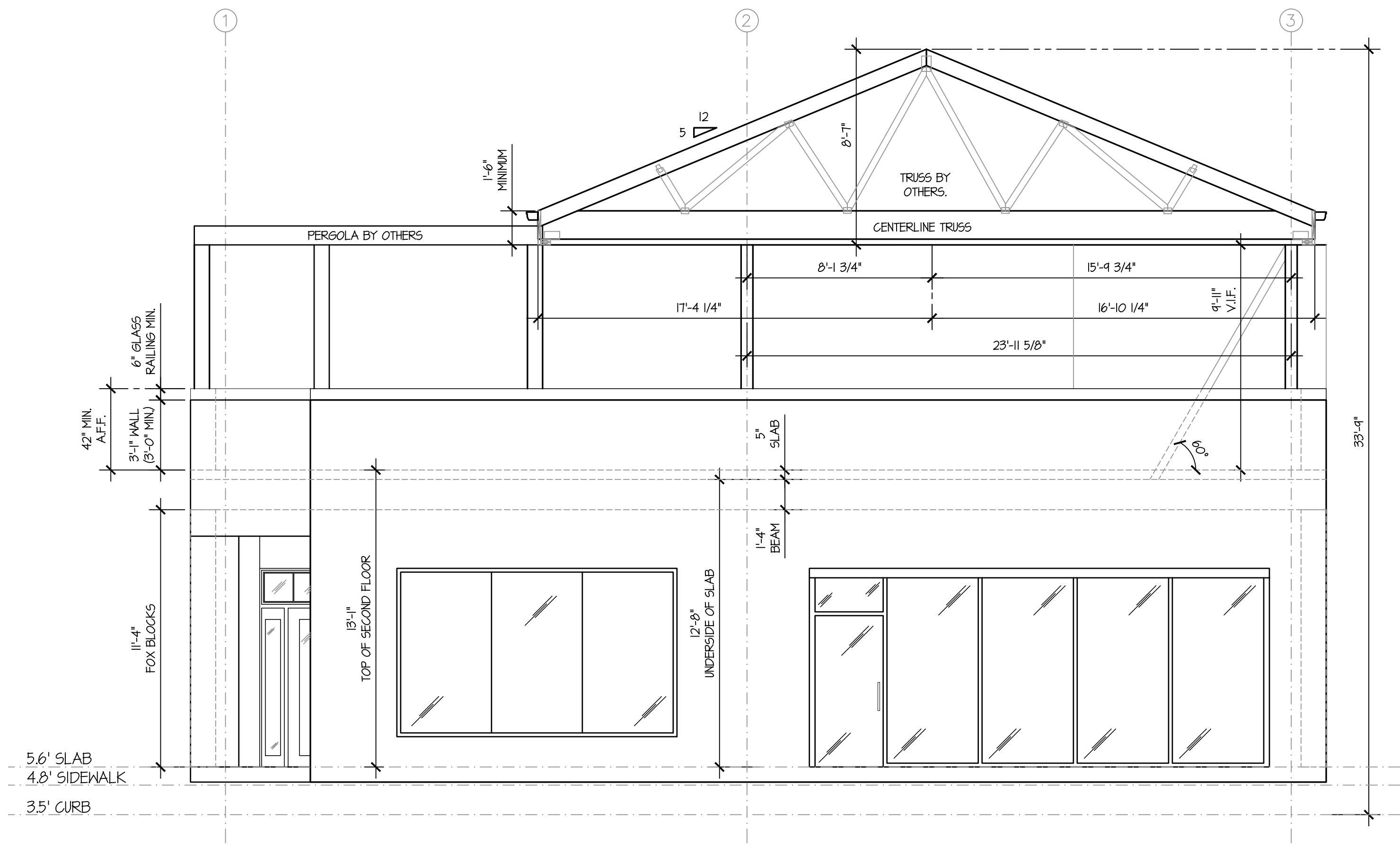
- ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH ANSI A117.1-2011 / NEW JERSEY BARRIER FREE SUBCODE 5:23-7.
- FLOOR SURFACES: ALL FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CHANGES IN LEVEL OF FLOOR SURFACES GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED.
- TURNING SPACES: TURNING SPACES SHALL HAVE A FLOOR SURFACE WITH A SLOPE NO STEEPER THAN 1:48. A CIRCULAR TURNING SPACE SHALL BE 60" IN DIAMETER, MINIMUM. A T-SHAPED TURNING SPACE SHALL BE 60" SQUARE WITH BASE AND ARMS OF 36" MINIMUM IN WIDTH.
- CLEAR FLOOR SPACE: CLEAR FLOOR SPACE SHALL BE 30" X 48" MINIMUM AND IS TO BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH.
- FLOOR SPACE OVERLAP: WHERE CLEAR FLOOR SPACE OVERLAPS AN ELEMENT KNEE AND TOE CLEARANCE SHALL BE PROVIDED AS SPECIFIED IN SECTION 306.
- PROTRUDING OBJECTS ALONG CIRCULATION PATHS SHALL CONFORM TO THE FOLLOWING GUIDELINES:
 - OBJECTS LOCATED WITHIN 21" AND 80" ABOVE THE FLOOR SHALL PROTRUDE A MAXIMUM OF 4" INTO THE PATH. REFER TO SECTION 307.2 FOR EXCEPTIONS.
 - THE REQUIRED CLEAR WIDTH OF A CIRCULATION PATH CANNOT BE REDUCED BY PROTRUDING OBJECTS.
 - GUARDRAILS OR OTHER BARRIERS ARE REQUIRED WHERE PROTRUDING OBJECTS FALL BEYOND LIMITS ALLOWED AND/OR VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FINISHED FLOOR.
- DOOR HARDWARE: ALL DOORS TO RECEIVE LEVER TYPE HARDWARE.
- DOORS: WHEN TWO DOORS ARE PLACED IN A SERIES A MINIMUM DISTANCE OF 48" PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SERIES IS REQUIRED BETWEEN THEM. A TURNING SPACE COMPLYING WITH SECTION 304 SHALL ALSO BE PROVIDED.
- OPERABLE PARTS SHALL BE LOCATED ADJACENT TO A CLEAR FLOOR SPACE AS SPECIFIED IN SECTION 305 AND BE USED WITHIN REACH RANGES AS ILLUSTRATED IN SECTION 306.
- TACTILE SIGNS TO COMPLY WITH SECTION 703. CHARACTERS AND PICTOGRAMS TO CONTRAST WITH THE BACKGROUND AND HAVE NON-GLARE FINISH. BRAILLE IS TO BE LOCATED UNDER THE CORRESPONDING TEXT AND BE SEPARATED BY A MINIMUM OF 3/8" FROM ANY OTHER TACTILE CHARACTER, DECORATION AND/OR BORDER. MOUNT BRAILLE AT A MINIMUM OF 48" AND A MAXIMUM OF 60" FROM THE FINISHED FLOOR. MEASURE MOUNTING HEIGHT FROM THE BASELINE.



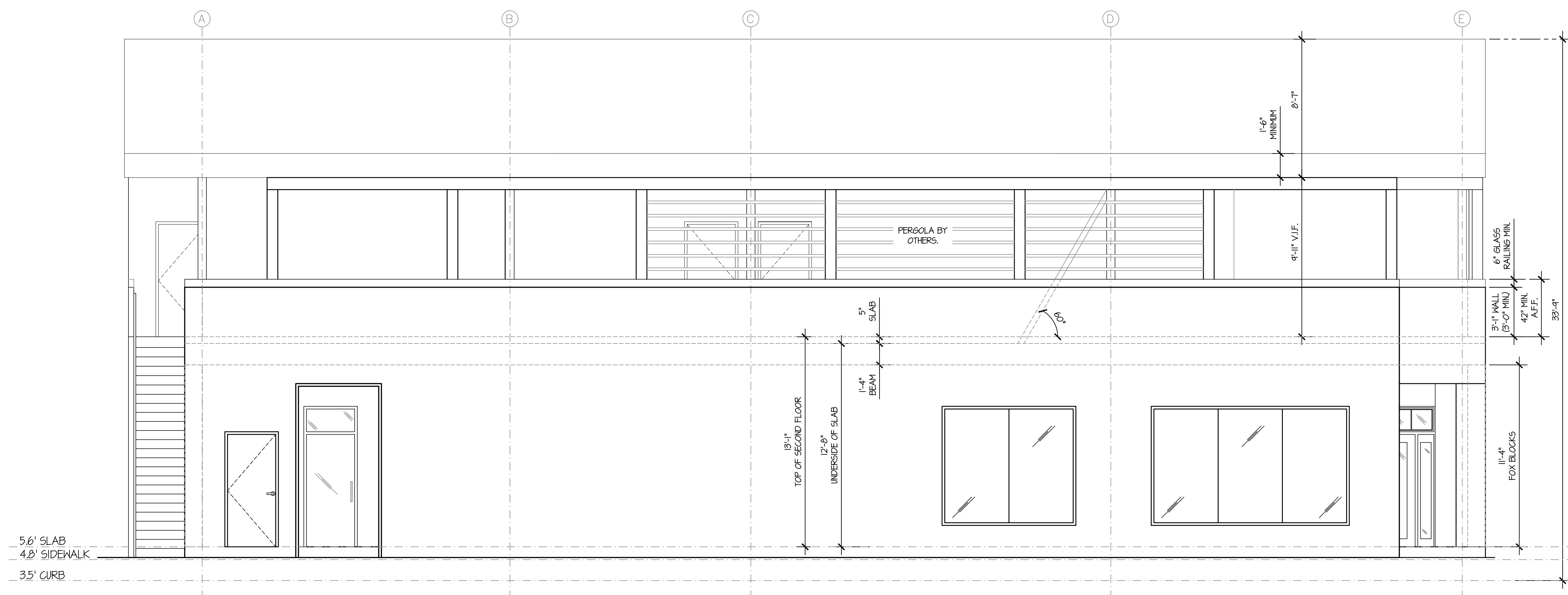
1 LEVEL ONE ARCHITECTURAL PLAN
1/8" = 1'-0"



2 LEVEL TWO ARCHITECTURAL PLAN
1/8" = 1'-0"



1 FRONT EXTERIOR ELEVATION
1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
1/4" = 1'-0"

NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA: 15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



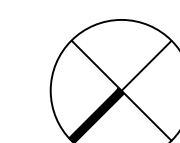
BAGLIVO ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW	12.29.2023
LEVEL 1 ISSUED FOR PERMIT	01.03.2024
ISSUED FOR REVIEW	01.15.2024
ISSUED FOR REVIEW	02.13.2024
ISSUED FOR PRICING	02.15.2024
ISSUED FOR PRICING	02.22.2024
ISSUED FOR REVIEW	02.29.2024
ISSUED FOR REVIEW	03.20.2024
ISSUED FOR PERMIT	03.25.2024

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter or item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Project NORTH

SUNRISE BAR

FIRST & SECOND FLOOR
9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402

File Name
9700 Ventnor Ave_Monroe_Sunrise Bar_CD_030124.dwg

Scale
AS NOTED

Date
03.25.2024

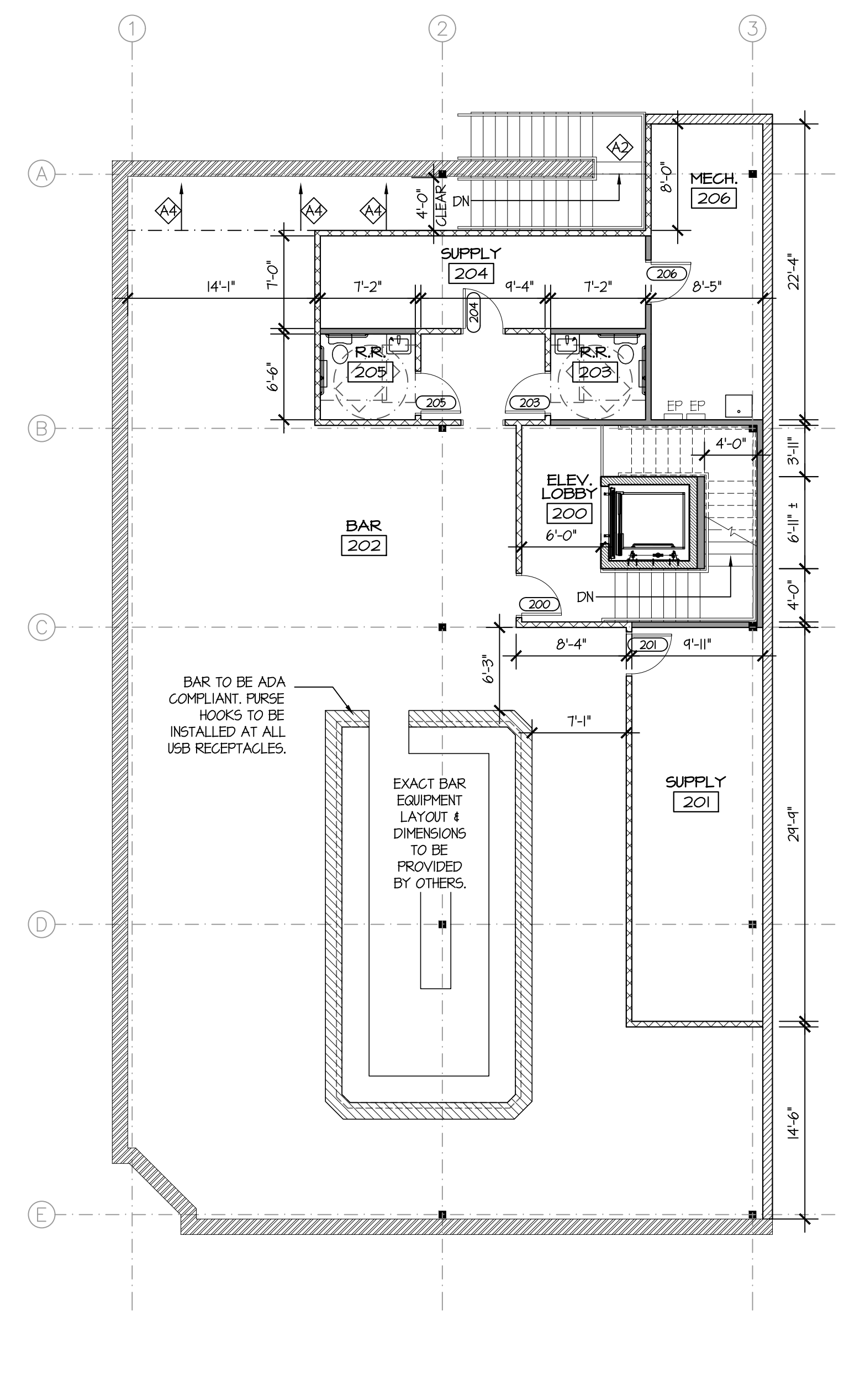
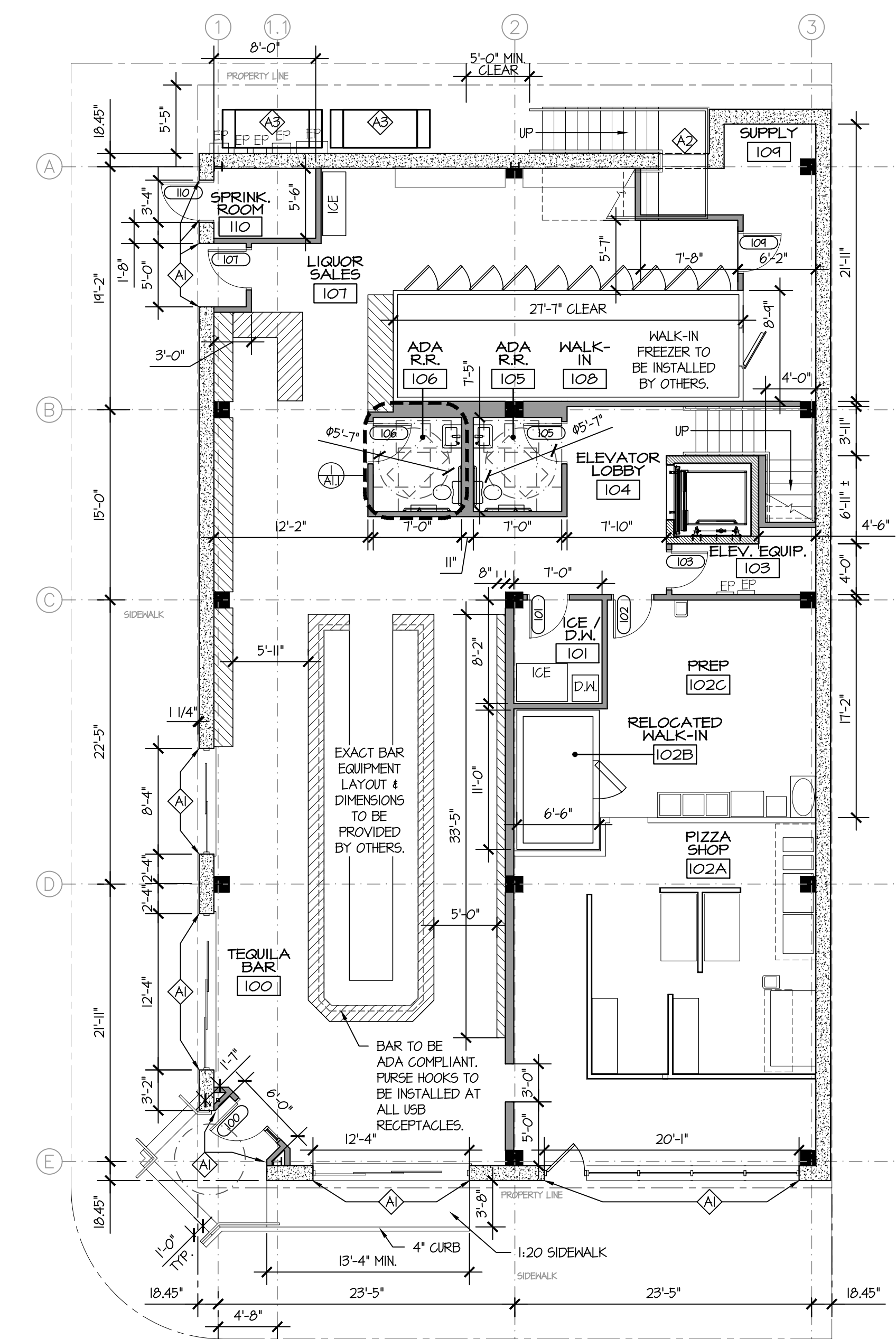
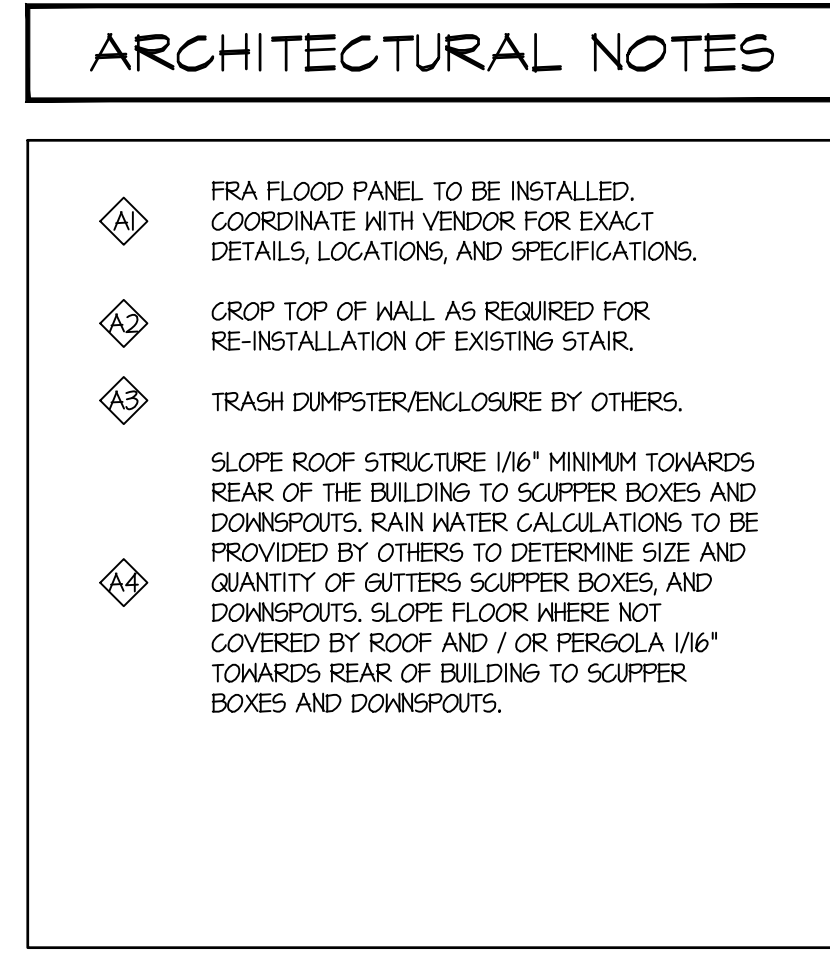
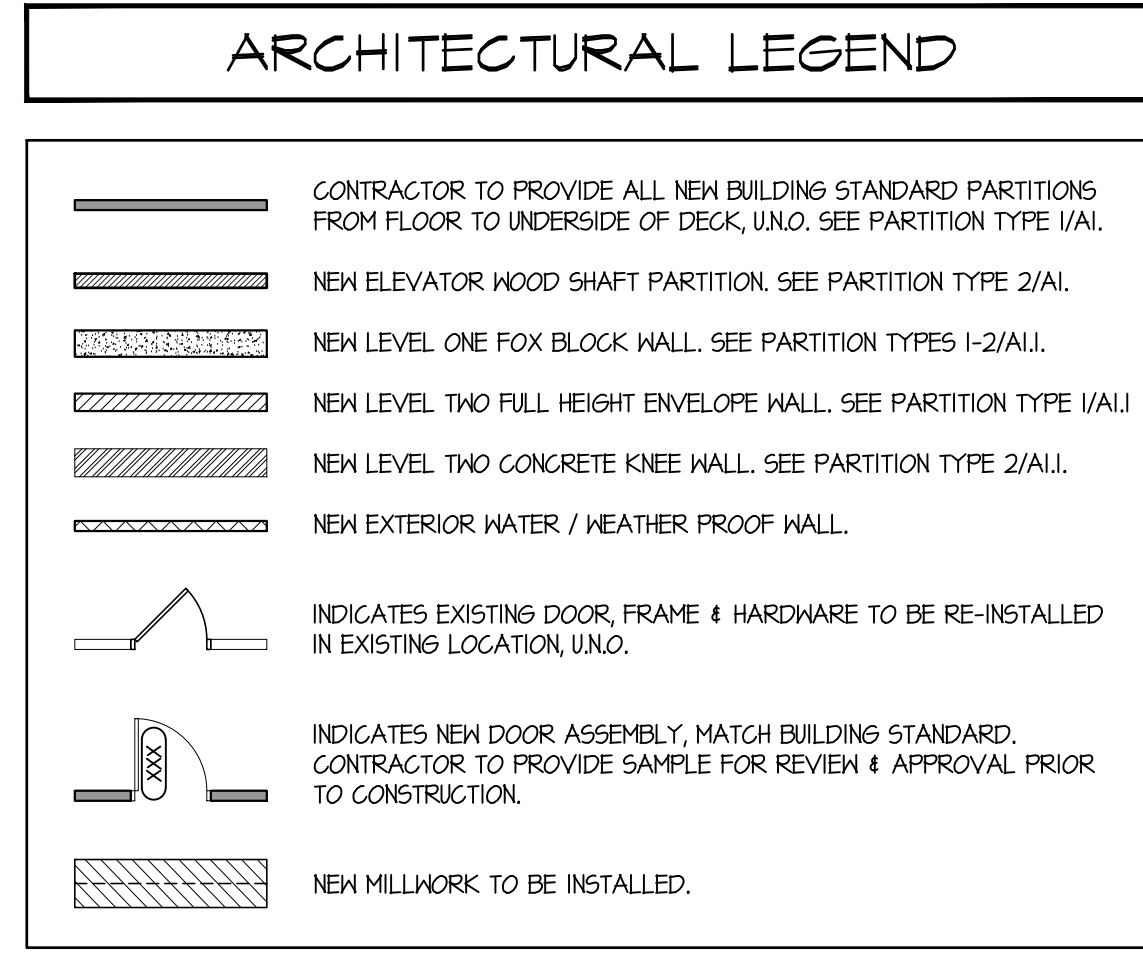
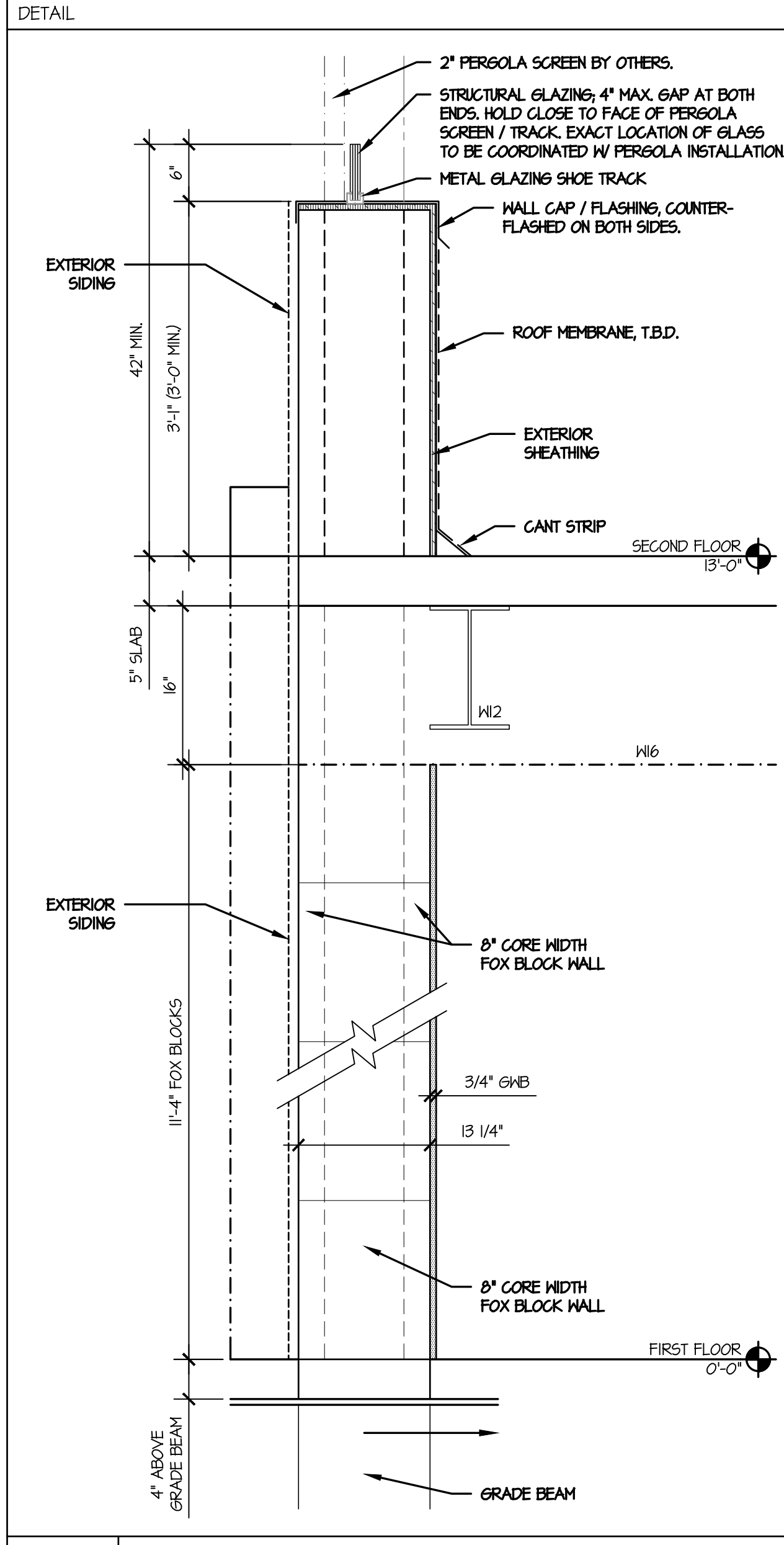
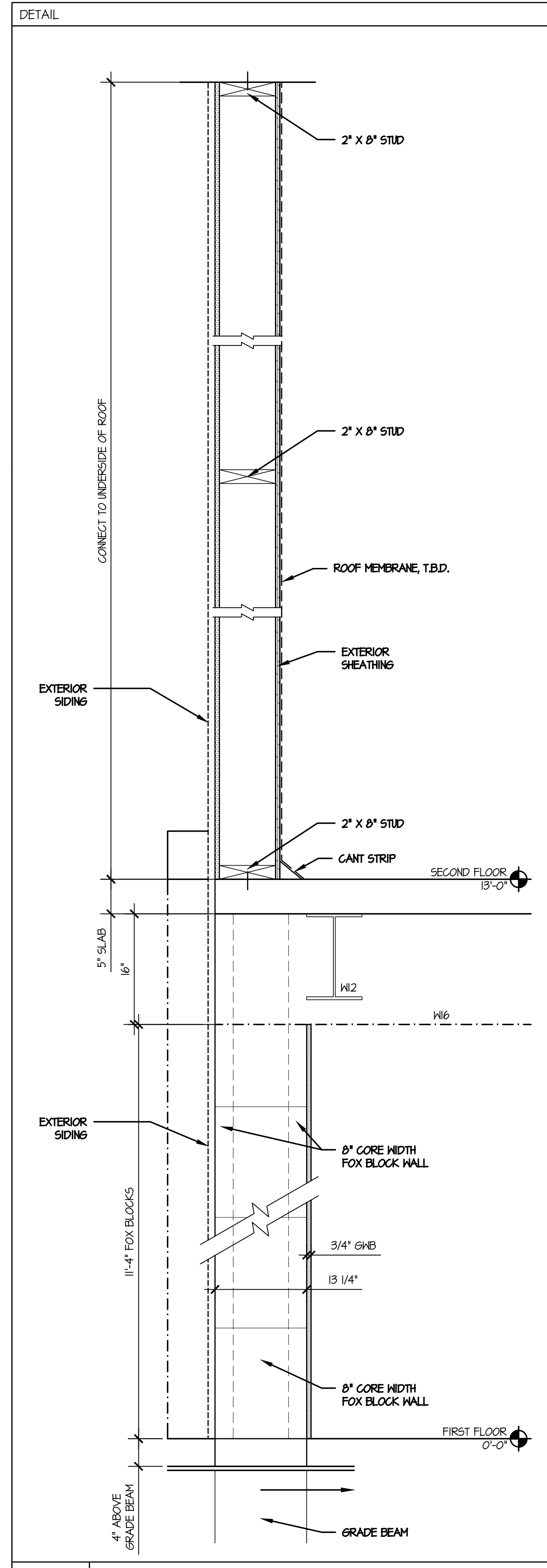
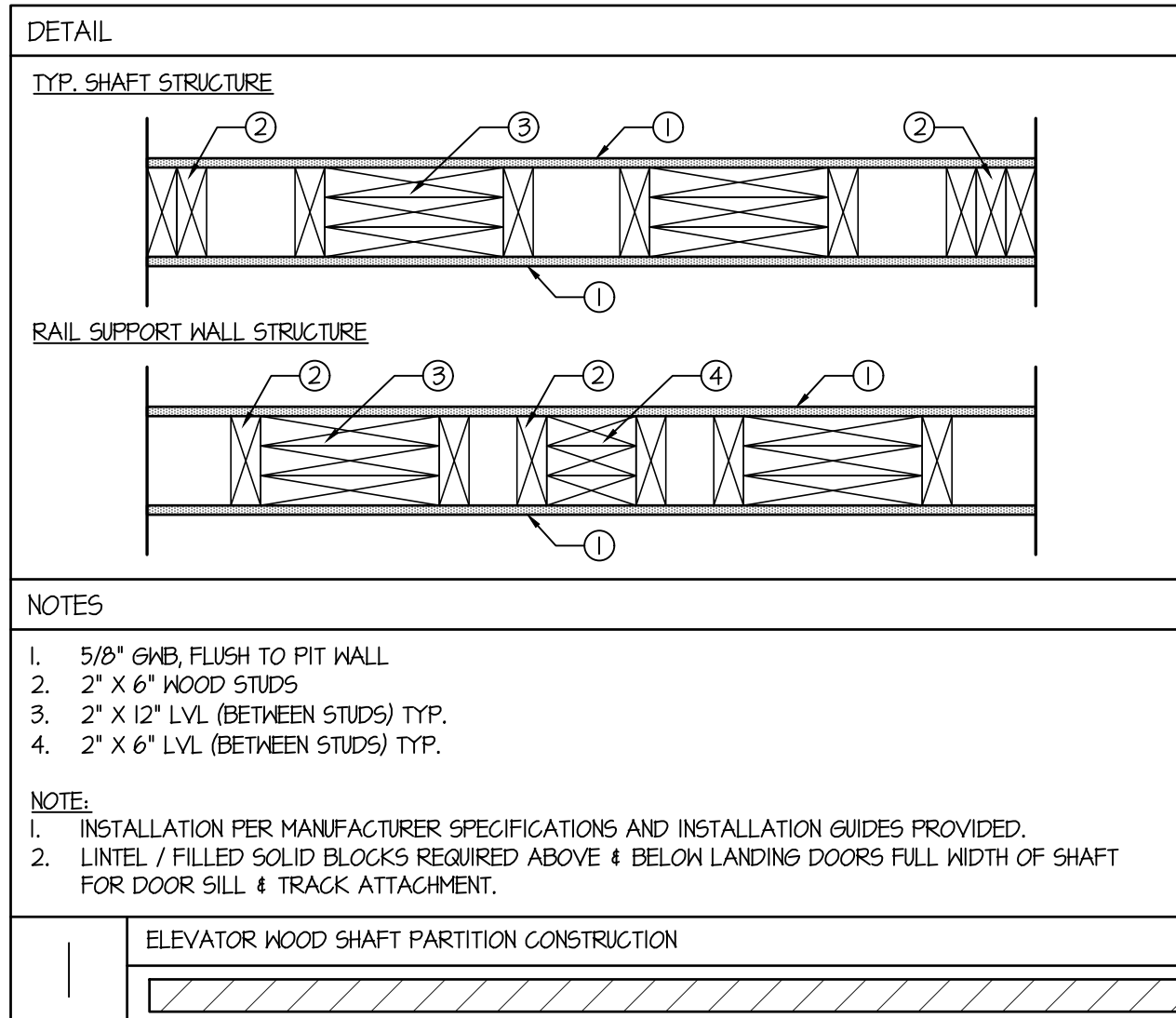
Drawn By
NB / JKH

Project Number
2023-012

Drawing Title
FRONT & SIDE EXTERIOR ELEVATIONS

Drawing Number

A5



NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA: 15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

**PROGRESS SET
NOT FOR
CONSTRUCTION
OR PERMIT**

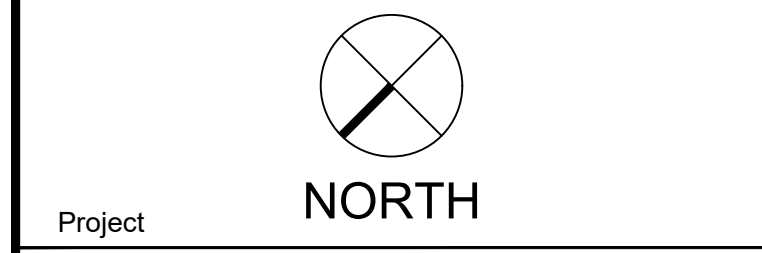
MD: 16301 FL: 96363 NY: 038058-1 MA: 31299

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ISSUED FOR REVIEW	01.15.2024
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ISSUED FOR REVIEW	02.29.2024
ISSUED FOR REVIEW	03.20.2024
ISSUED FOR PERMIT	03.25.2024
CSK01 ISSUED FOR REVIEW	04.12.2024
CSK02/EX02 ISSUED FOR REVIEW	04.30.2024

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Project **SUNRISE BAR**

FIRST & SECOND FLOOR
9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402

File Name
9700 Ventnor Ave_Monroe_Sunrise Bar_CD_043024.dwg

Scale
AS NOTED

Date
04.30.2024

Drawn By
NB / JKH

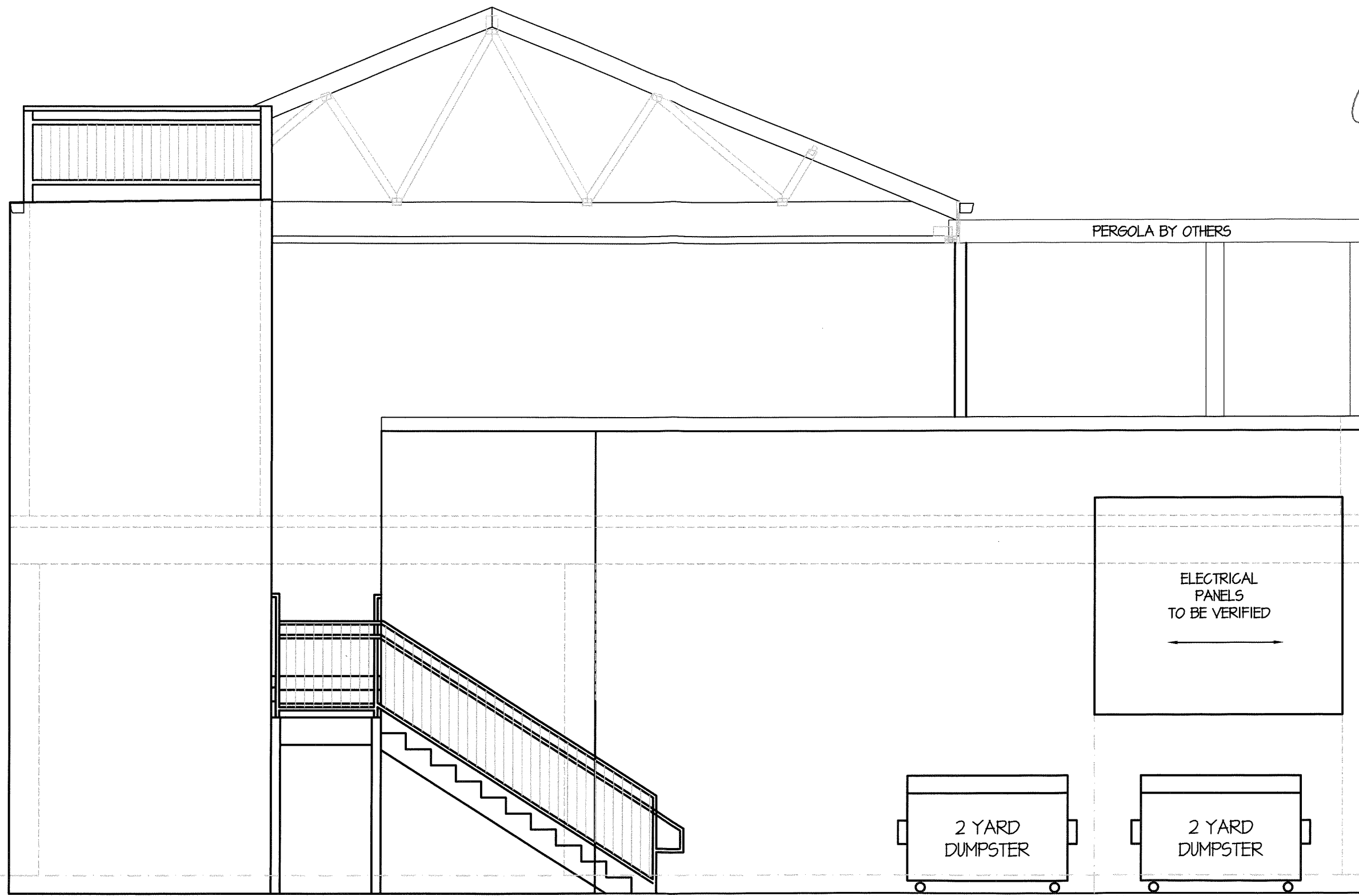
Project Number
2023-012

Drawing Title
LEVELS ONE & TWO ARCH. PLANS & WALL DETAILS

Drawing Number

CSK02

Baglivo



5.6' SLAB
4.8' SIDEWALK
3.5' CURB

SCALE: 1/4" = 1'-0"

DATE: 04.30.2024
PROJECT #: 2023-012

EX02

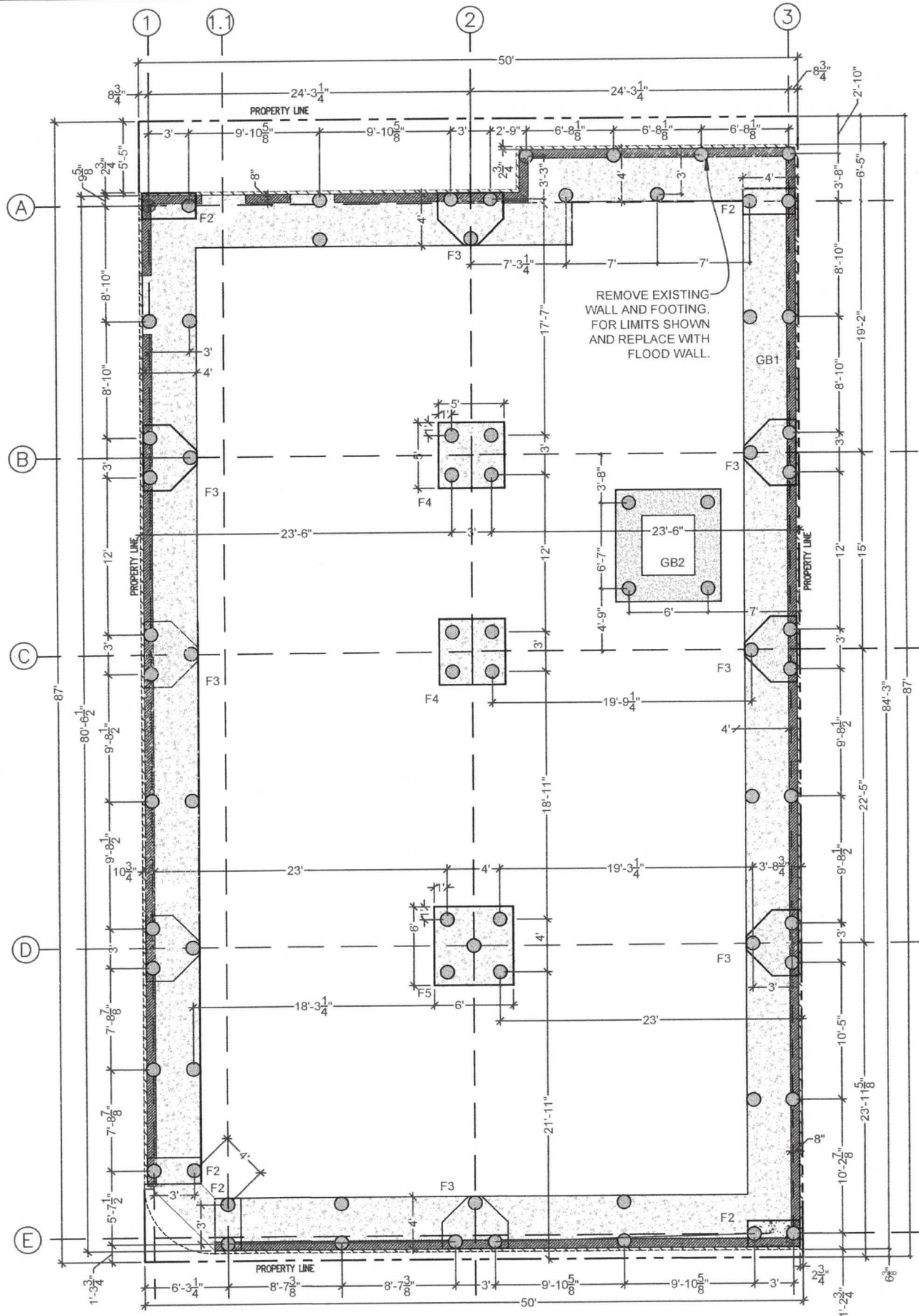
SUNRISE BAR - VENTNOR AVE. ELEVATION

9700 VENTNOR AVENUE
MARGATE CITY, NJ 08402

BAGLIVO ■ ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

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Blue Bell, PA 19422
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PROPOSED FOUNDATION PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- THIS SET OF PLANS IS FOR STRUCTURAL AND FLOOD PROOFING ELEMENTS FOR A COMMERCIAL FACILITY WITH A PIZZA RESTAURANT AND A BAR/LIQUOR STORE. THE PLANS FOR THE BUILDING ALLOW FOR THE STRUCTURE TO BECOME POTENTIALLY DRY FLOOD PROOF TO THE DESIGN FLOOD ELEVATION +11.00 NAVD, BUT THIS WILL REQUIRE FLOOD BARRIERS FOR ALL THE ACCESS POINTS AS WELL BACKFLOW PREVENTERS ON THE SANITARY SEWER LINES AND ANY OTHER CONDUITS INTO THE BUILDING BELOW ELEVATION +11.00.
- WIND DESIGN IS 130 MPH
- ALL GOVERNING CODES SHALL BE STRICTLY OBSERVED IN THE CONSTRUCTION OF THE PROJECT INCLUDING BUT NOT LIMITED TO ALL STATE, COUNTY AND CITY ZONING, BUILDING, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES, INCLUDING 2021 INTERNATIONAL BUILDING CODE FOR THE STATE OF NEW JERSEY.
- ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED PRIOR TO THE START OF WORK. EXACT LOCATION OF ALL DOORS AND WINDOWS INTO THE BUILDING SHALL BE SHOWN ON THE ARCHITECTURAL PLANS AND THE CONTRACTOR SHALL FULLY COORDINATE AND VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING STRUCTURAL VARIATIONS AND UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL DEVIATIONS AND DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- THE PLANS AND DETAILS HEREIN HAVE BEEN PREPARED BASED ON THE ENGINEERS UNDERSTANDING OF THE EXISTING CONDITIONS. NOTIFY ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM THOSE DEPICTED ON THE PLANS AND DETAILS.
- ALL EXTERIOR UNDERGROUND UTILITIES SHALL BE MARKED OUT PRIOR TO START OF WORK. TEMPORARILY PROTECT ALL UTILITIES AS REQUIRED. EXTEND EXISTING UTILITIES AS REQUIRED.
- ALL AREAS REQUIRED TO BE DISTURBED AT THE PERIMETER OF THE DWELLING ARE TO BE RESTORED LIKE NEW CONDITION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, MEANS AND METHODS OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS.
- THE CONTRACTOR SHALL NOT MAKE ANY STRUCTURAL CHANGES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
- GRADING SHALL BE DONE TO DIRECT ALL SURFACE WATER AWAY FROM THE STRUCTURE WITH A MINIMUM SLOPE OF 6" INCHES OF FALL WITHIN 10- FEET

CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO THE ACI 318-83 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND ACI 301 FOR DESIGN MIXES.
- CONCRETE FOR FOUNDATIONS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MINIMUM OF 6 BAGS OF CEMENT PER CUBIC YARD, AND HAVE A MINIMUM SLUMP OF 1" AND A MAXIMUM SLUMP OF 3", WATER/CEMENT RATIO 0.42 MINIMUM.
- ALL EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 4000 PSI AND AIR ENTRAINED 3 TO 5 PERCENT.
- PER ASTM D1557, METHOD D PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE.
- NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
- UNLESS NOTED OTHERWISE, BASEMENT AND GARAGE FLOOR SLABS SHALL BE 6" THICK REINFORCED WITH WMF 6X6 - 10/10 AT MID-DEPTH, AND POURED OVER 6 MIL VIESQUEEN ON 4" OF POROUS FILL. DRIVEWAYS SHALL BE THE SAME EXCEPT VAPOR BARRIER IS NOT NECESSARY.
- FORM WORK SHALL BE WELL BRACED, TRUE TO DIMENSION, LEVEL AND PLUMB AND STRUCTURALLY ADEQUATE.
- COMPLY WITH REQUIREMENTS OF ANSI/ASTM C94 AND ACI 305 FOR HOT TEMPERATURES AND ACI 306 FOR COLD WEATHER CONCRETE PLACING.
- DO NOT USE CALCIUM CHLORIDE ACCELERATOR IN THE MIX.
- LAP ALL BARS 40 BAR DIAMETERS.
- ON GRADE BEAM SPLICE BOTTOM BARS OVER TOP OF PILING AND TOP BARS IN BETWEEN PILING OR STAGGER SPLICES IN ALTERNATE BAYS AND PROVIDE 48 BAR DIAMETER LAPS.
- ON GRADE BEAMS PROVIDE KEYED JOINTS AT MIDSPAN BETWEEN PILING. ON SLABS PROVIDE KEYED JOINTS AT MIDSPAN BETWEEN GRAD BEAMS.

9700 VENTNOR AVENUE
BLOCK 131, LOT 21
CITY OF VENTNOR
ATLANTIC COUNTY, NEW JERSEY

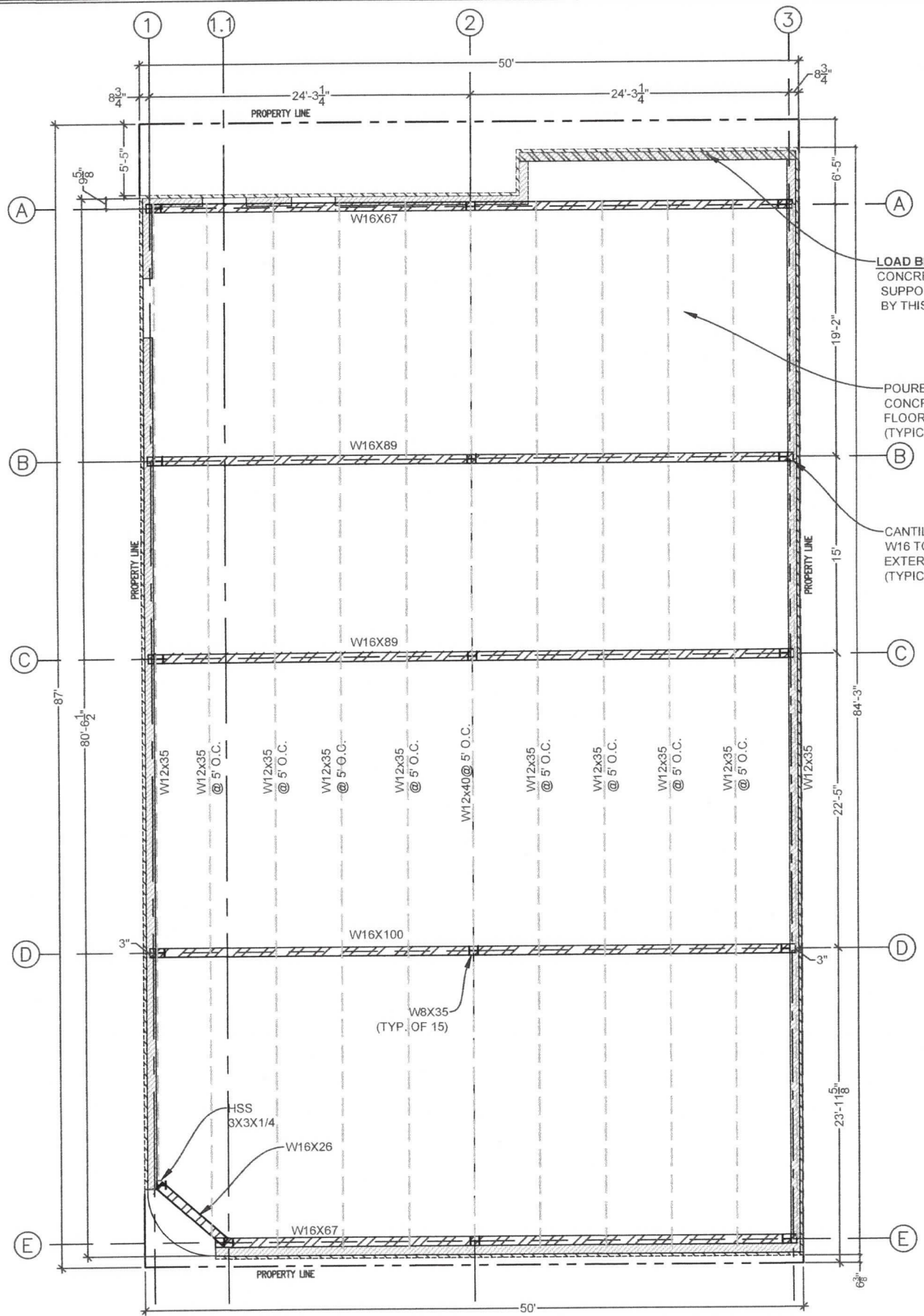
FOUNDATION PLAN

DATE:	22MAR24	DRAWN BY:	JLW	CHECKED BY:	AJC	SCALE:	AS SHOWN
REV DATE:		REVISIONS:					

Arthur Chew Consulting LLC
130 West Seaview Avenue
Linwood, NJ 08221

ARTHUR J. CHEW III, PROFESSIONAL ENGINEER

NJ LICENSE NO. 24GE04700100



LOAD BEARING WALL
CONCRETE DECK
SUPPORTED
BY THIS WALL.

POURED
CONCRETE
FLOOR
(TYPICAL)

CANTILEVER
W16 TO 3" OF
EXTERIOR WALL.
(TYPICAL)

FIRST FLOOR STRUCTURAL PLAN

SCALE: 3/32" = 1'-0"

9700 VENTNOR AVENUE
BLOCK 131, LOT 21
CITY OF VENTNOR
ATLANTIC COUNTY, NEW JERSEY

FIRST FLOOR STRUCTURAL PLAN

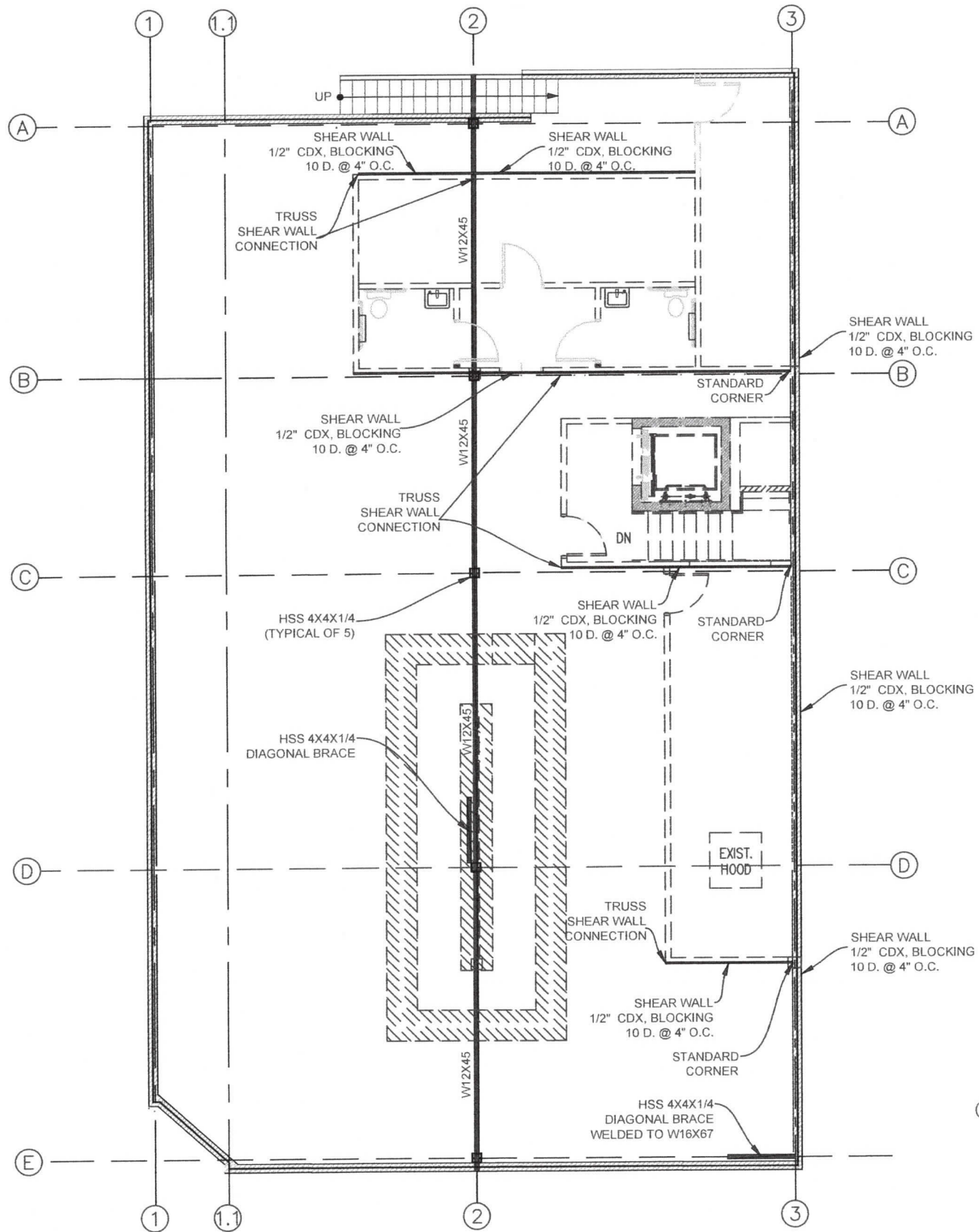
DATE: 22MAR24	DRAWN BY: JLW	CHECKED BY: AJC	SCALE: AS SHOWN
REV DATE:	REVISOR:		

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130 West Seaview Avenue
Linwood, NJ 08221

ARTHUR J. CHEW III, PROFESSIONAL ENGINEER

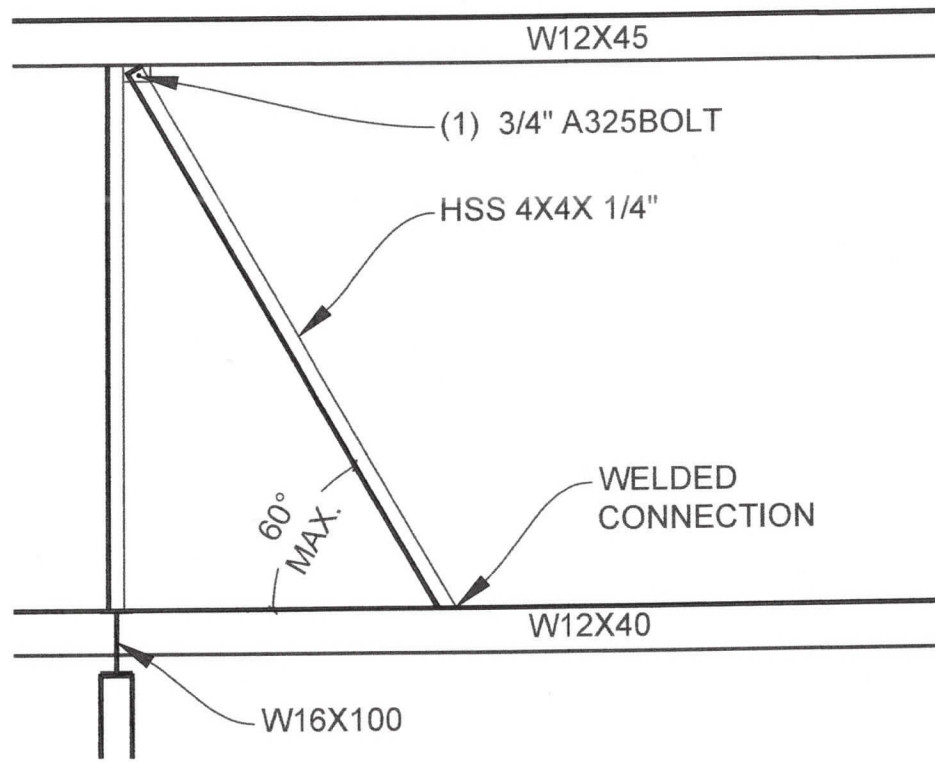
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2/7

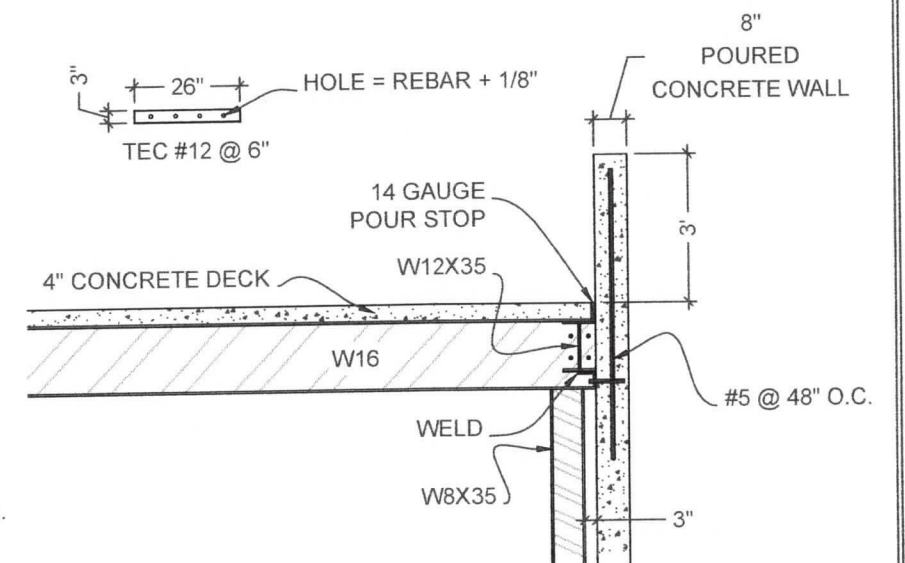


SECOND FLOOR STRUCTURAL PLAN

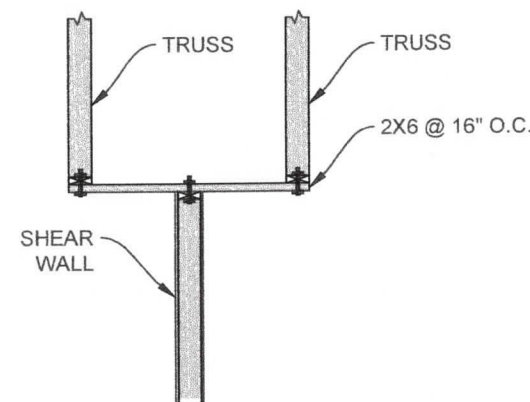
SCALE: 3/32" = 1'-0"



DIAGONAL BRACE DETAIL



CONCRETE HALF WALL CONNECTION DETAIL



TRUSS - SHEAR WALL CONNECTION DETAIL
(TO BE UTILIZED IF TRUSS DOES NOT ALIGN WITH SHEAR WALL BELOW)



STANDARD CORNER DETAIL

9700 VENTNOR AVENUE
BLOCK 131, LOT 21
CITY OF VENTNOR
ATLANTIC COUNTY, NEW JERSEY

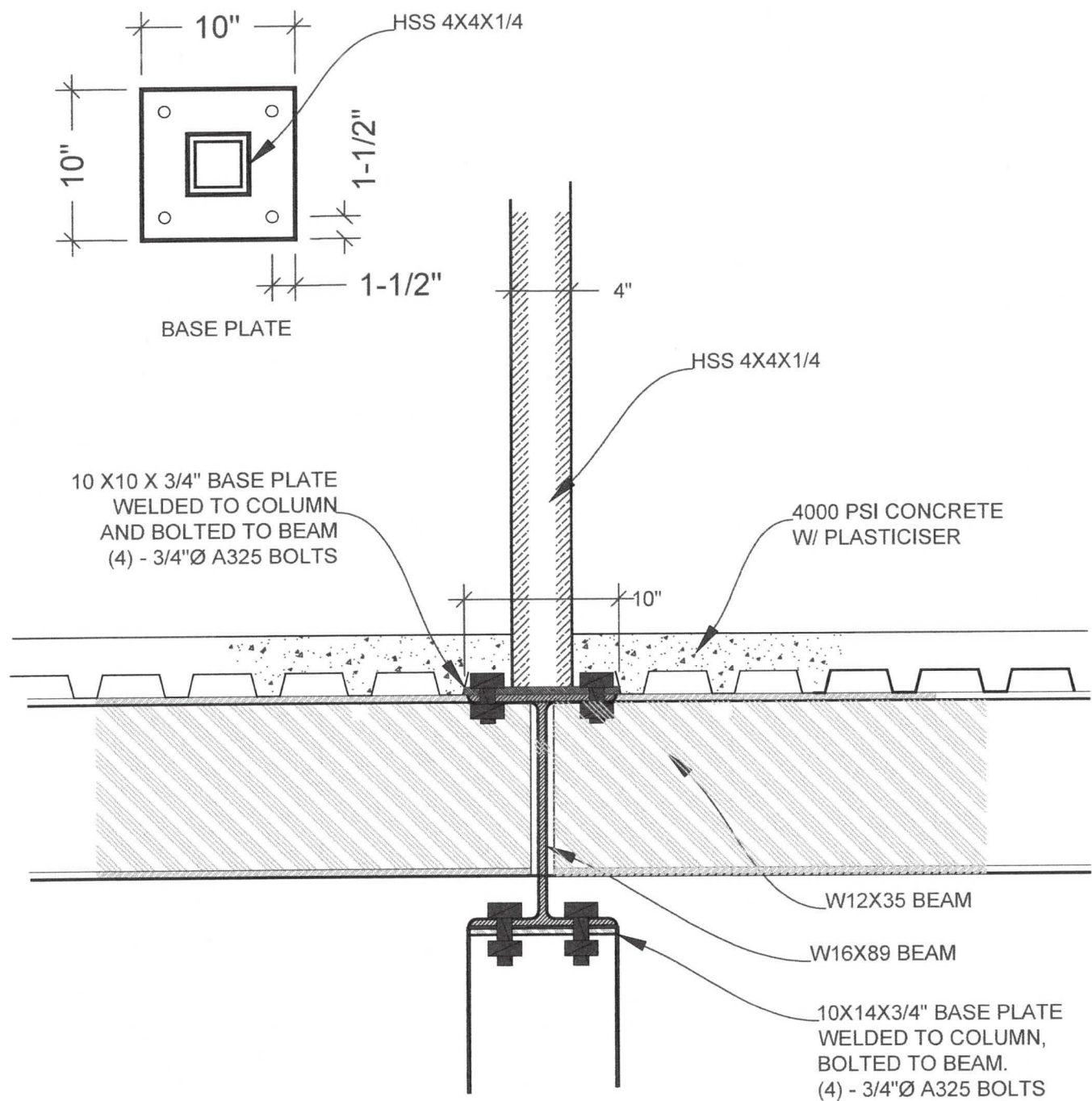
SECOND FLOOR STRUCTURAL PLAN

DATE	22MAR24	DRAWN BY	JLW	CHECKED BY	AJC	SCALE	AS SHOWN
REV DATE		REVISIONS					

Arthur Chew Consulting LLC
130 West Seaview Avenue
Linwood, NJ 08221

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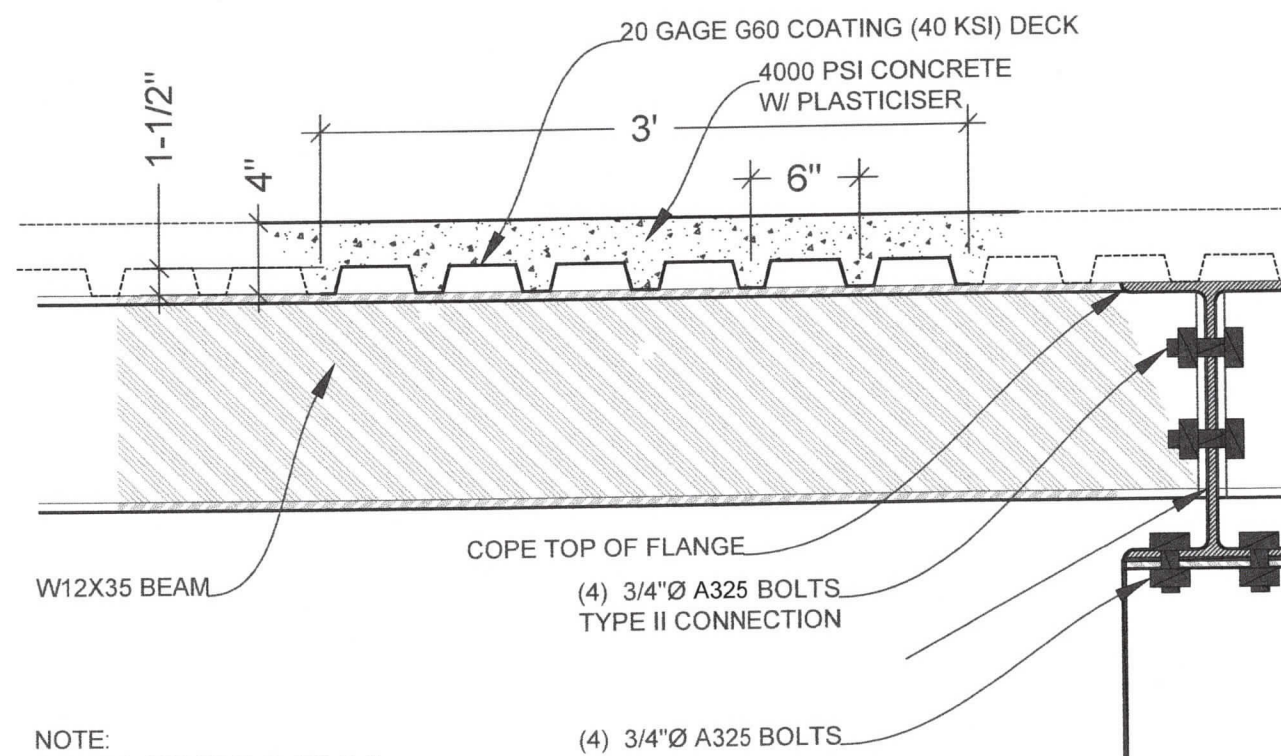
NJ LICENSE NO. 24GE04700100



COLUMN CONNECTION TO DECK DETAIL

SCALE: N.T.S.

CSC OR VULCRAFT 1.5" X 6" B-LOK COMPOSITE DECKING

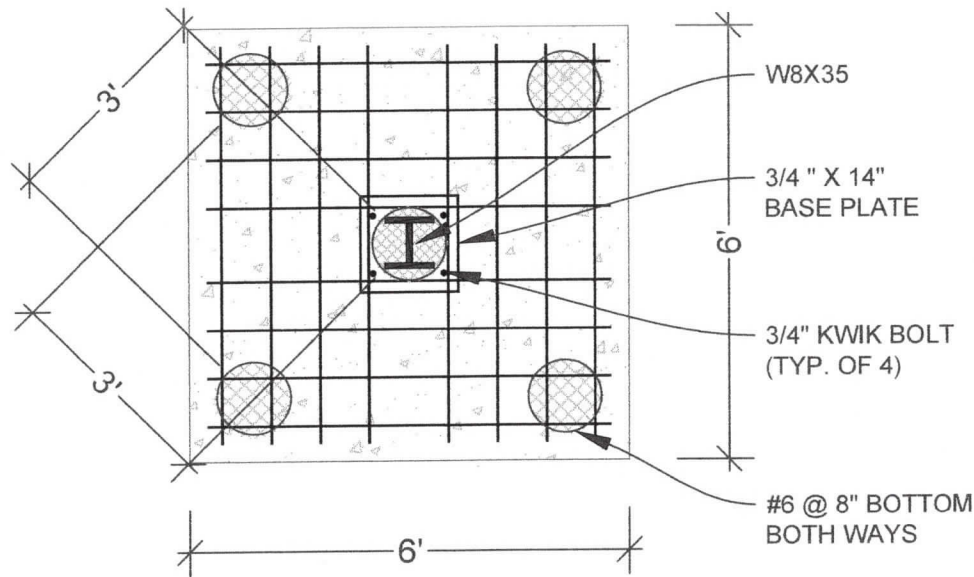


NOTE:
#12 TEC SCREWS @ 12" O.C.

POURED CONCRETE DECK DETAIL

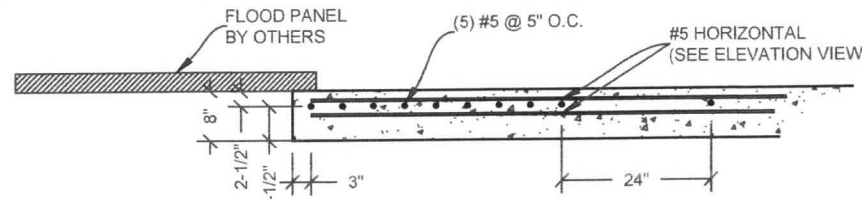
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9700 VENTNOR AVENUE BLOCK 131, LOT 21 CITY OF VENTNOR ATLANTIC COUNTY, NEW JERSEY					
DETAILS					
DATE	22MAR24	DRAWN BY	JLW	CHECKED BY	AJC
REV DATE		REVISIONS		SCALE	AS SHOWN
Arthur Chew Consulting LLC 130 West Seaview Avenue Linwood, NJ 08221					
ARTHUR J. CHEW III, PROFESSIONAL ENGINEER					
NJ LICENSE NO. 24GE04700100					



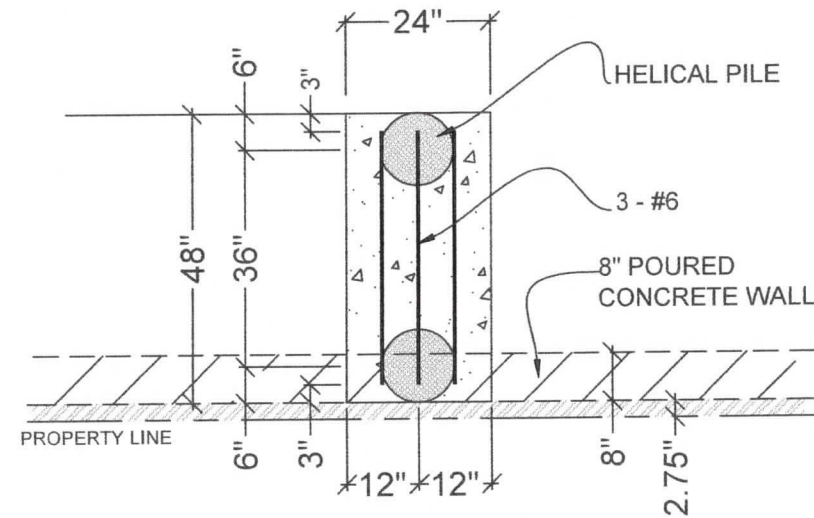
F5 - 6'X6'X24"
CONCRETE 5-PILE FOOTING

SCALE: N.T.S.



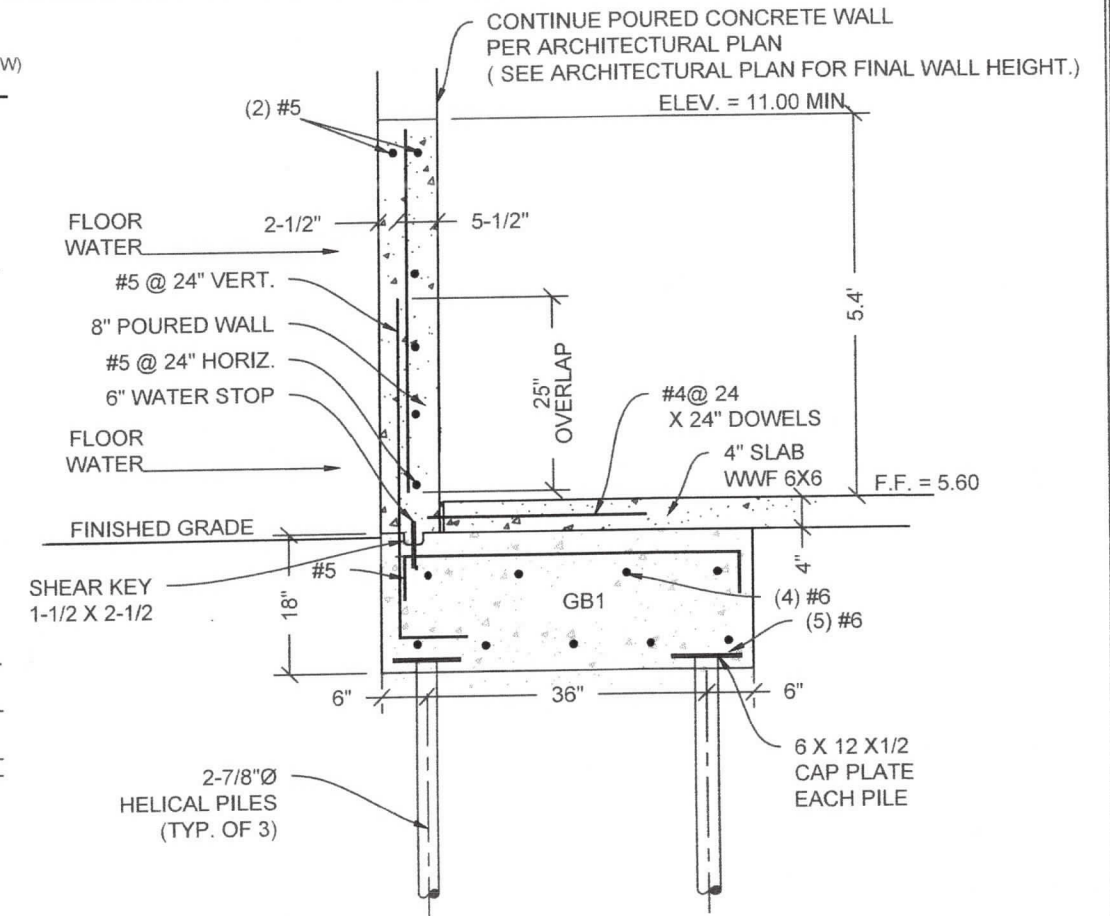
FLOOD WALL @ FLOOD PANEL CONNECTION
PLAN VIEW

SCALE: N.T.S.



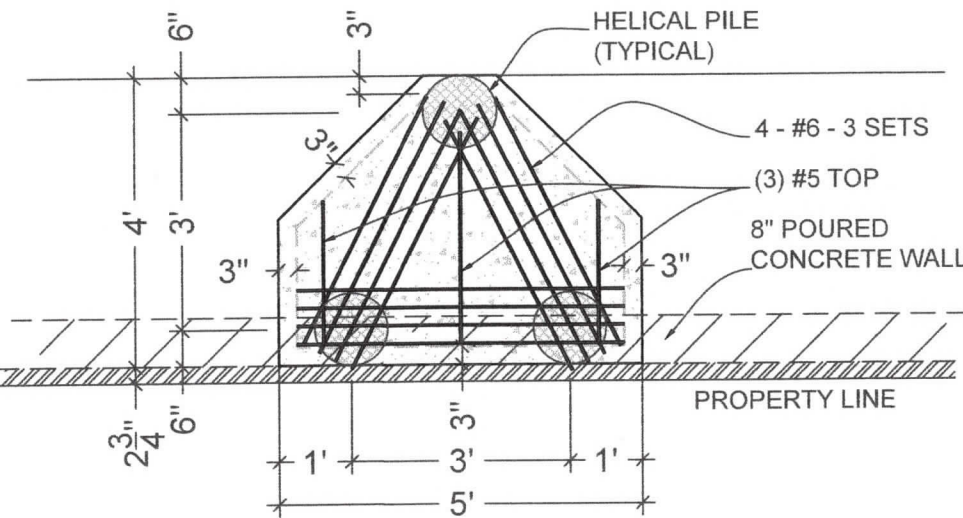
F2 - 2' X 4' X 18"
CONCRETE 2-PILE FOOTING

SCALE: N.T.S.



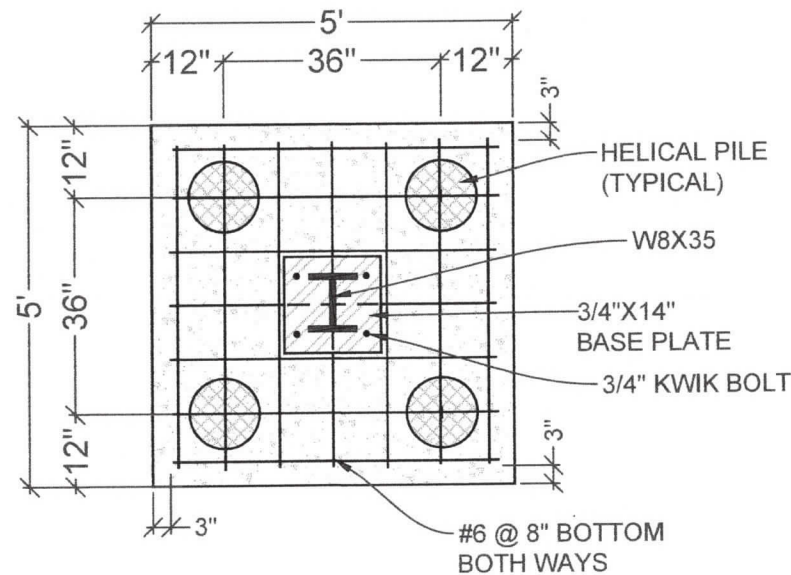
GB1 AND FLOOD WALL
ELEVATION VIEW

SCALE: N.T.S.



F3 - 5'X4'X24"
CONCRETE 3-PILE FOOTING

SCALE: N.T.S.

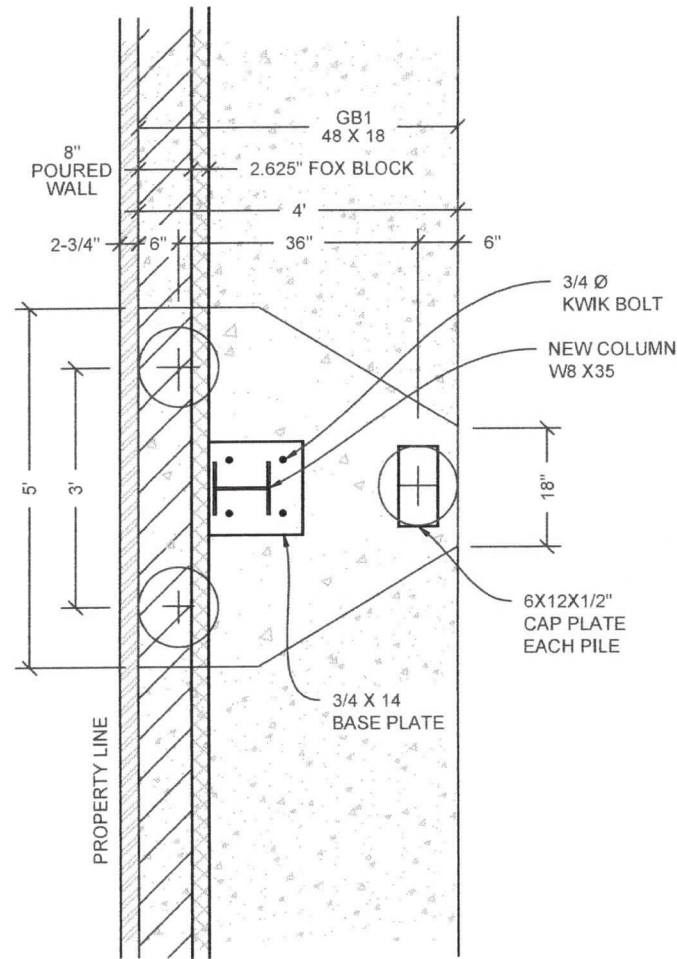


F4 - 5'X5'X24"
CONCRETE 4-PILE FOOTING

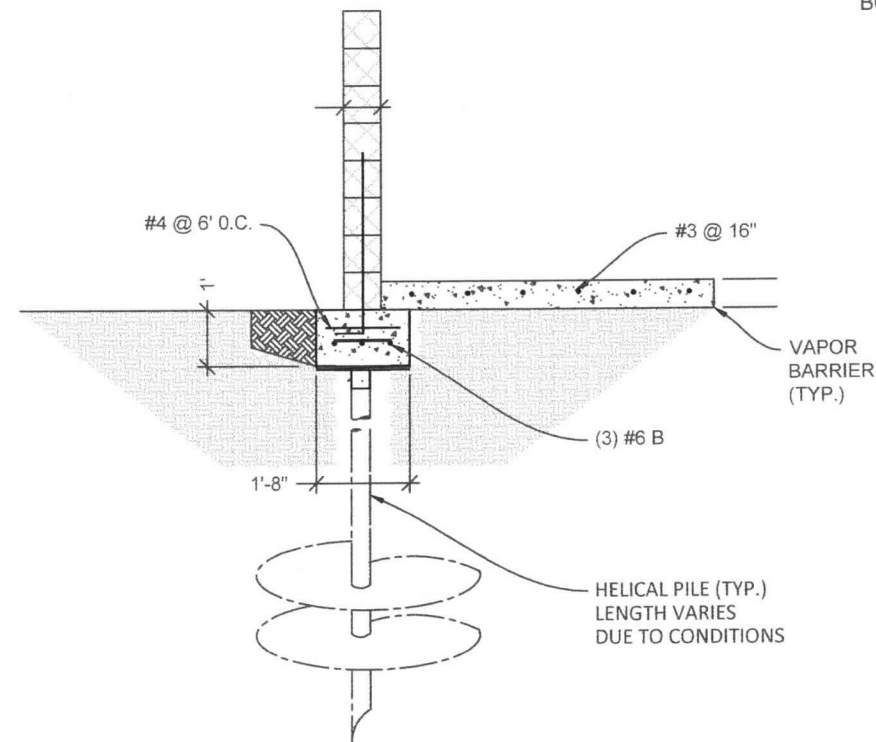
SCALE: N.T.S.

NOTE:
PIN EXISTING CONCRETE SLAB
TO NEW CONCRETE WITH #4 @ 24" X 24"

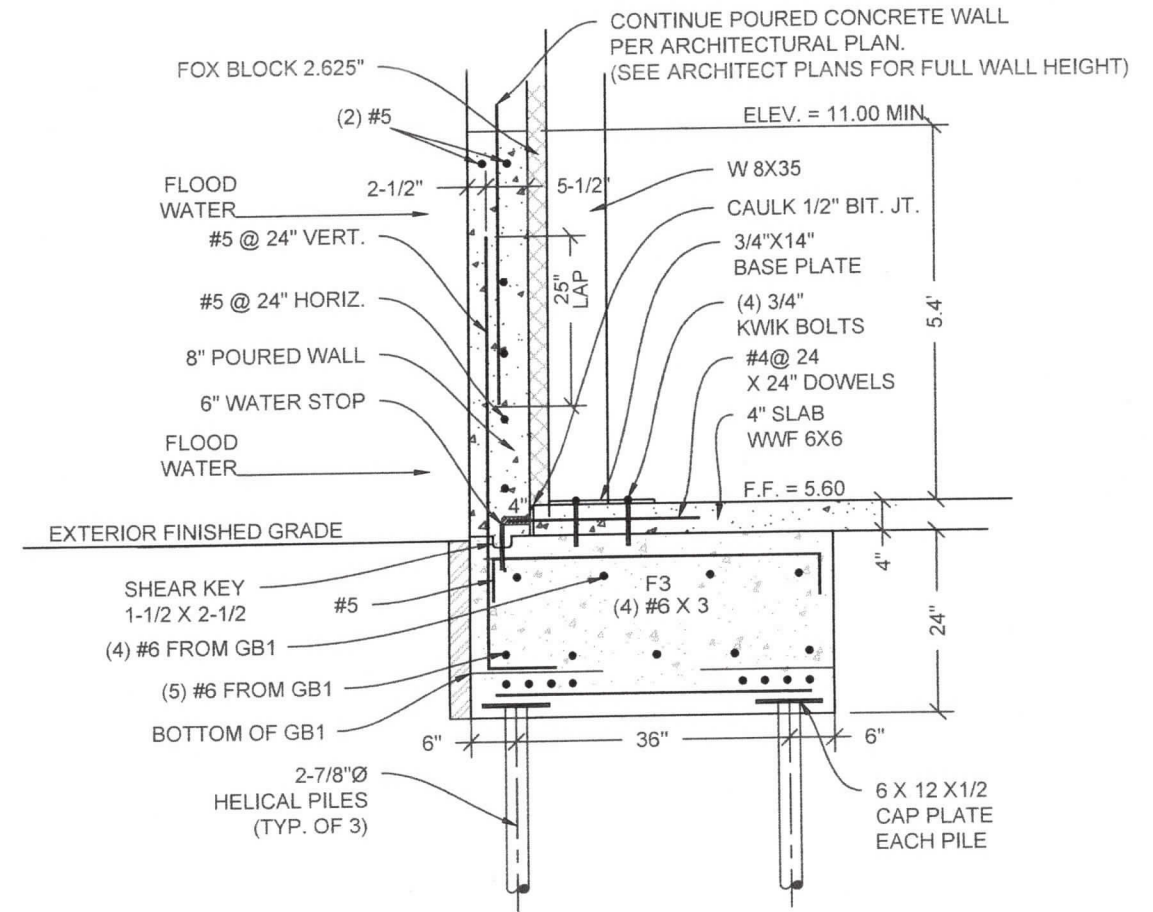
9700 VENTNOR AVENUE BLOCK 131, LOT 21 CITY OF VENTNOR ATLANTIC COUNTY, NEW JERSEY					
DETAILS					
DATE	22MAR24	DRAWN BY	JLW	CHECKED BY	AJC
REV DATE		REVISIONS		SCALE	AS SHOWN
Arthur Chew Consulting LLC 130 West Seaview Avenue Linwood, NJ 08221					
ARTHUR J. CHEW III, PROFESSIONAL ENGINEER					
NJ LICENSE NO. 24GE04700100					



F3 - 3 PILE FOOTING - PLAN VIEW
 SCALE: N.T.S.



GB2 - GRADE BEAM/ HELICAL PILE DETAIL
 NTS



F3 - 3 PILE FOOTING - ELEVATION VIEW
 SCALE: N.T.S.

9700 VENTNOR AVENUE
 BLOCK 131, LOT 21
 CITY OF VENTNOR
 ATLANTIC COUNTY, NEW JERSEY

DETAILS

DATE	22MAR24	DRAWN BY	JLW	CHECKED BY	AJC	SCALE	AS SHOWN
REV DATE		REVISIONS					

Arthur Chew Consulting LLC
 130 West Seaview Avenue
 Linwood, NJ 08221

ARTHUR J. CHEW III, PROFESSIONAL ENGINEER
 NJ LICENSE NO. 24GE04700100

6/7

FOUNDATION NOTES

- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.
- SOIL BEARING CAPACITY USED FOR STRUCTURAL CALCULATIONS IS 500 PSF.
- ALL CONCRETE WORK SHALL BE DESIGNED ON THE LATEST EDITION OF "STRENGTH DESIGN" IN ACCORDANCE WITH ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 211.1 "RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE". CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND. CONCRETE EXPOSED TO WEATHER INCLUDING BUT NOT LIMITED TO SLABS, PATIOS, DRIVEWAYS, WALLS AND FOUNDATIONS SHALL BE CONSTRUCTED OF A MINIMUM 4,000 PSI CONCRETE, 28 DAY TEST, WITH A 4" MINIMUM TO 6" MAXIMUM SLUMP, MAXIMUM AIR ENTRAINMENT TO 5-7%. NO ADDITIONAL WATER SHALL BE ADDED TO CONCRETE AFTER SLUMP TEST IS RECORDED. CONCRETE SHOULD BE A MIX OF HIGH GRADE PORTLAND CEMENT, CLEAN SAND OR GRANULAR FILL AND WASHED GRAVEL OR CRUSHED STONE AS COARSE AGGREGATE PER ACI 530. DO NOT POUR CONCRETE WHEN TEMPERATURES ARE 40 DEGREES F AND FALLING.
- PROVIDE 1/2" THICK BY 4" WIDE BITUMINOUS EXPANSION JOINT MATERIAL AT ALL SURFACES WHERE SLABS ADJOIN RAISED SLAB, PILINGS, CRAWLSPACE OR BASEMENT STEMWALL CMU OR POURED FOUNDATIONS.
- REINFORCING STEEL (REBAR) SHALL BE MINIMUM ASTM A615, GRADE 60 DEFORMED STEEL. ALL REBAR (REINFORCING STEEL) SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315. LOCATE THE VERTICAL REBAR (REINFORCING STEEL) 4'- 0" ON CENTER (OC) UNLESS NOTED OTHERWISE. ALL REINFORCEMENT SPLICES SHALL BE IN ACCORDANCE WITH ACI 318 FOR "STRENGTH DESIGN." ALL REINFORCEMENT SPLICES SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED, AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH ACI 301 AND ACI 318. DO NOT WELD. LAP ALL BARS INDICATED AS CONTINUOUS A MINIMUM 48 DIAMETERS.
- **ANCHORS BOLTS:** ANCHOR BOLTS SHALL CONFORM TO ASTM F1554. GALVANIZED ANCHOR BOLTS SHOULD BE EMBEDDED IN POURED CONCRETED OR GROUTED MASONRY. A MINIMUM (2) ANCHORS BOLTS SHALL BE INSTALLED PER SECTION OF PLATE AND SHALL BE PLACED 12" FROM END OF EACH SECTION OF PLATE WITH INTERMEDIATE BOLTS AT 4'-0"OC AND 2 FEET FROM CORNERS UNLESS NOTED OTHERWISE.
- **REINFORCING STEEL CLEARANCES:**
 - CONCRETE PLACED DIRECTLY ON EARTH @ FOOTINGS = 3"
 - SLABS FROM TOP = 1"
 - FORMED SURFACE EXPOSED TO WEATHER OR EARTH = 1 1/2" FOR #5 BAR OR SMALLER, 2" FOR #6 BAR OR LARGER
 - EXTERIOR WALL SURFACES = 2"
- **WELDED WIRE FABRIC REINFORCING:** WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. PROVIDE FLAT SHEETS. INSTALL AT SLAB ON GRADE CONDITIONS. 6X6 W1.4XW1.4 UNLESS NOTED OTHERWISE. LOCATE 1 1/2" BELOW THE SURFACE OF THE SLAB. OVERLAP SHEETS 8" MINIMUM.
- **FOOTINGS:** CENTER ALL FOOTINGS ON WALLS, PIERS, OR COLUMNS ABOVE UNLESS OTHERWISE NOTED. ALL FOOTINGS SHALL REST ON FIRM, UNDISTURBED VIRGIN SOIL AND SHALL BE KEPT FREE FROM GROUND WATER. FOOTINGS AT BUILDING PERIMETER SHALL EXTEND BELOW THE FROST LINE (MINIMUM OF 30" BELOW GRADE) AND CONSTRUCTED OF 4,000 PSI CONCRETE.

STRUCTURAL STEEL:

1. ALL STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
2. ALL STEEL CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN".
3. SHOP DRAWINGS SHALL BE SUBMITTED ON TRANSPARENCIES WITH TWO (2) PRINTS AND WITH SUFFICIENT TIME FOR PROCESSING.
4. ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN, AND STRAIGHT AND SHALL CONFORM TO ASTM A36, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
5. ALL BOLTS SHALL CONFORM TO ASTM A-325 N, AND SHALL BE PROVIDED WITH HARDENED WASHERS UNDER THE TURNED ELEMENT (NUT OR BOLT HEAD).
6. INSTALLATION AND TIGHTENING OF ALL HIGH STRENGTH BOLTS SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A-325 BOLTS" - CALIBRATED WRENCH METHOD. LOAD INDICATOR WASHERS ARE AN ACCEPTABLE ALTERNATIVE.
7. SHOP CONNECTIONS MAY BE WELDED OR HIGH STRENGTH BOLTS. ALL BOLTS SHALL BE 3/4" DIAMETER UNLESS OTHERWISE NOTED. ALL CONNECTIONS SHALL BE TYPE 2, SIMPLE FRAMED CONNECTIONS PER AISC MANUAL OF STEEL CONSTRUCTION, DESIGNED FOR MAXIMUM UNIFORM LOAD CAPACITY OF THE SECTION, UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE ENGINEER, OR ON DRAWINGS.
8. HOLES SHALL BE 13/16" DIAMETER U.N.O. HOLES IN CONNECTION ANGLES 13/16" X 1" SLOTS NORMAL TO CONNECTION.
9. STRUCTURAL STEEL SHALL RECEIVE TWO (2) COATS OF PAINT EXCEPT IN AREAS TO BE WELDED OR BOLTED. TOUCH UP AFTER IN PLACE. PAINT SHALL BE S/C APEX IRON OXIDE #41.
10. ALL COLUMNS SHALL BE MILLED TO BEAR AT SPLICES, CAP PLATES, AND BASE PLATES.
11. ALL CLIP ANGLES SHALL HAVE A MINIMUM LENGTH OF 6" AND MINIMUM THICKNESS OF 15/16"
12. BURNING OF HOLES, CUTS, ETC. IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERFORMED EXCEPT WITH SPECIFIC APPROVAL OF THE ENGINEER.
13. PROVIDE BEAM SOFFIT CLIPS AND COLUMN WRAPPING FOR FIREPROOF STEEL CONSTRUCTION WHERE INDICATED.
14. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION. USE E70XX HOP AND E60XX FIELD, PERFORMED BY CERTIFIED WELDERS. CUTS, HOLES, COPINGS, ETC., REQUIRED IN STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE STRUCTURAL STEEL SHOP DRAWINGS, AND SHALL BE MADE IN THE SHOP. HOLES SHALL BE REINFORCED AS REQUIRED BY THE ENGINEER.

PILING NOTES

- ALL PILES SHALL BE INSTALLED TO A MINIMUM TIP ELEVATION OF -10 NAVD 88. FINAL TIP ELEVATION SHALL BE GOVERNED BY ADVANCING PILE TO THE NOTED BEARING CAPACITY.
- VERTICAL INSTALLATION FOR FOUNDATIONS SHALL HAVE THE FOLLOWING CRITERIA:
 - DESIGN (ALLOWABLE) CAPACITY: 15 TONS
 - ULTIMATE CAPACITY (SAFETY FACTOR: 2.0): 30 TONS
 - MINIMUM INSTALLATION TORQUE:
 - ROUND SHAFT (2 7/8" DIAMETER, TORQUE FACTOR: 9) = 6,667 FT/LB
- HELICAL PILES SHALL BE INSTALLED TO A MINIM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.
- INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS BY A REPRESENTATIVE OF A LICENSED ENGINEER IN THE STATE OF NEW JERSEY.
- ALL PILING INSTALLED AS TIEBACKS SHALL BE "PRETENSIONED" TO REMOVE SLACK IN THE CONNECTIONS BEFORE CONNECTING TO THE RETAINING ASSEMBLY. HELICAL PILES SHALL BE MANUFACTURED BY THE IDEAL MANUFACTURING, INC OR EQUAL AS DETERMINED BY THE ENGINEER.
- HELICAL PILES SHALL BE INSTALLED BY AN AUTHORIZED INSTALLER OF THE APPROVED PILES. INSTALLING CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND ASCRIBED INSTALLATION TECHNIQUES. PROOF OF CERTIFICATION MUST BE SUBMITTED TO THE ENGINEER.
- ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES IN EFFECT AT THE TIME OF INSTALLATION INCLUDING OSHA.
- HELICAL PILES AS SPECIFIED SHALL CONFORM TO EITHER THE SBCI-STANDARD BUILDING CODE, OR ICBO-UNIFORM BUILDING CODE. AN OFFICIAL EVALUATION REPORT WITH ASSIGNED NUMBER SHALL BE PRESENTED UPON REQUEST TO THE OWNER AND/OR THEIR REPRESENTATIVE. SBCCI-9504B; ICBO-ER-5110.
- THE HELICAL LEAD SECTIONS AND EXTENSION SECTIONS SHALL BE SOLID STEEL, ROUND CORNERED SQUARE SHAFT, OR ROUND STEEL PIPE SHAFT OR COMPOSITE STEEL SHOWN ON PLANS AND GROUT SHAFT CONFIGURED WITH ONE OR MORE HELICAL BEARING PLATES WELDED TO THE SHAFT.
- INSTALLATION UNITS SHALL CONSIST OF A ROTARY TYPE TORQUE MOTOR WITH FORWARD AND REVERSE CAPABILITIES. THESE UNITS ARE TYPICALLY POWERED.
- INSTALLATION UNITS SHALL BE CAPABLE OF DEVELOPING THE MINIMUM TORQUE AS REQUIRED.
- INSTALLATION UNITS SHALL BE CAPABLE OF POSITIONING THE HELICAL PILE AT THE PROPER INSTALLATION ANGLE THIS ANGLE MAY VARY BETWEEN VERTICAL AND 5 DEGREES DEPENDING UPON APPLICATION AND TYPE OF LOAD TRANSFER DEVICE SPECIFIED OR REQUIRED.
- THE APPROPRIATE STEEL NEW CONSTRUCTION LOAD TRANSFER DEVICE SHALL BE USED.
- APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL WORK SHALL CONFORM TO THE CURRENT IRC BUILDING CODE AND NEW JERSEY UNIFORM CONSTRUCTION CODE.
- IF DURING DRIVING, PILES ARE MOVING MORE THAN 2" OFF CENTER OR 2% OFF VERTICAL, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. AFTER PILES ARE DRIVEN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL PILES WHICH ARE MORE THAN 2" OFF CENTER, BEFORE REMOVING HIS EQUIPMENT FROM THE SITE, IN CASE THE ENGINEER REQUIRES ADDITIONAL PILES.
- PILES SHALL BE TREATED TO PREVENT CORROSION. HOT DIP GALVANIZATION MUST BE A MINIMUM THICKNESS OF 5 MM.

9700 VENTNOR AVENUE
 BLOCK 131, LOT 21
 CITY OF VENTNOR
 ATLANTIC COUNTY, NEW JERSEY

NOTES

DATE	22MAR24	DRAWN BY	JLW	CHECKED BY	AJC	SCALE	AS SHOWN
REV DATE		REVISIONS					

Arthur Chew Consulting LLC
 130 West Seaview Avenue
 Linwood, NJ 08221

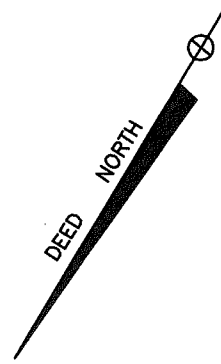
ARTHUR J. CHEW III, PROFESSIONAL ENGINEER

NJ LICENSE NO. 24GE04700100

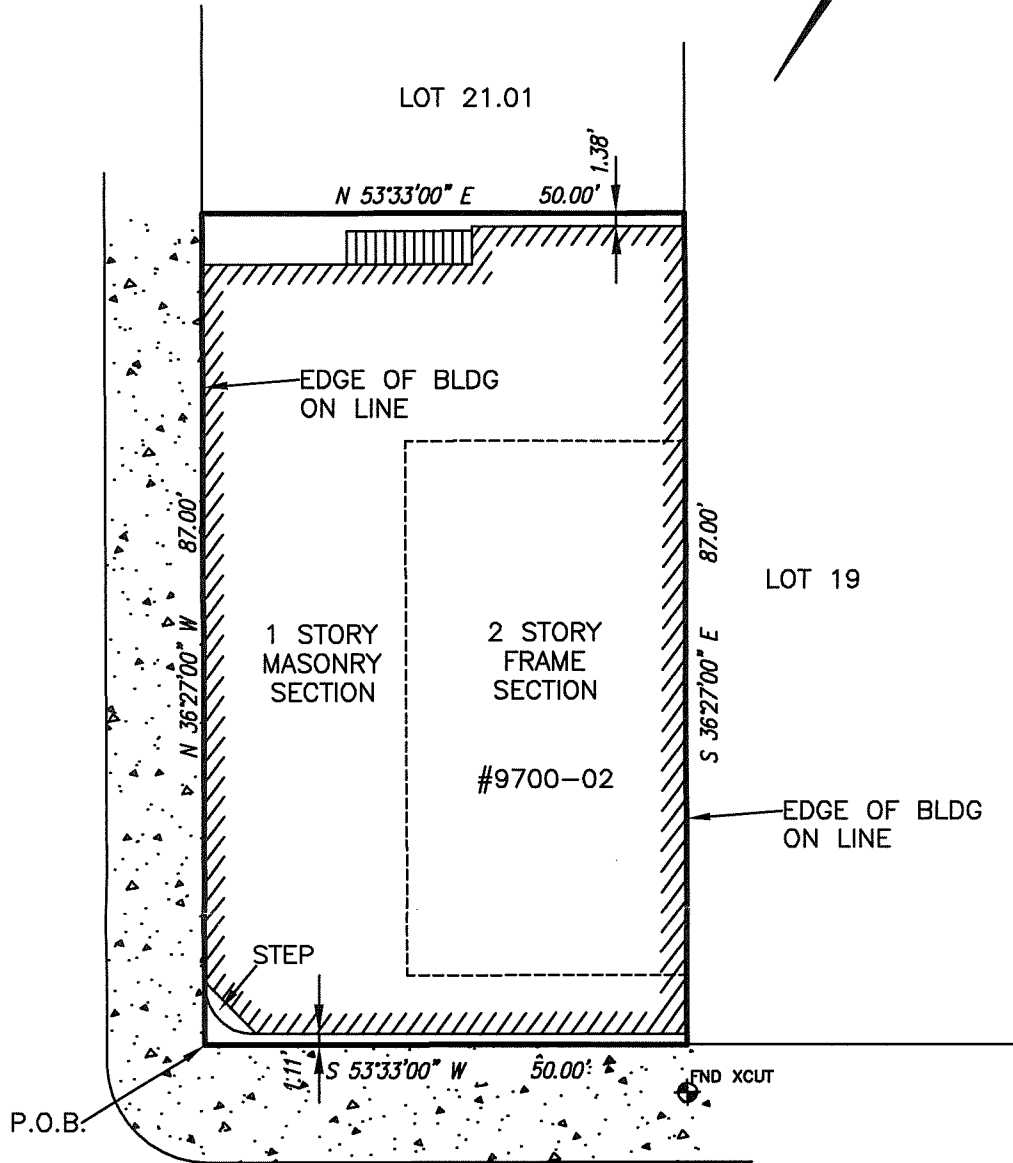
717

NOTES:

1. BEING COMMONLY KNOWN AS LOT 21 BLOCK 131 ON THE CURRENT OFFICIAL TAX MAP OF THE CITY OF MARGATE.
2. STREET ADDRESS: 9700-02 VENTNOR AVENUE
3. DEED REFERENCE: CFN#0058558



MONROE (50' WIDE) AVENUE



VENTNOR (80' WIDE) AVENUE


TO:

DANA & BRIAN HILTNER

I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED AND PREPARED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW JERSEY. I FURTHER CERTIFY TO ITS ACCURACY EXCEPT FOR ANY EASEMENTS OR STRUCTURES NOT VISIBLE ON THE SURFACE.

NOTE:

THE BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING SETBACK COMPLIANCE AND SHOULD NOT BE USED FOR ERECTING FENCES OR ANY OTHER IMPROVEMENTS.

<p>SURVEY OF:</p> <p>BLOCK 131 LOT 21</p> <p>CITY OF MARGATE ATLANTIC COUNTY NEW JERSEY</p>	<p>DATE: 12-09-22</p> <p>SCALE: 1" = 20'</p> <p>DRN.BY: JRB</p> <p>PROJ: 22-1594</p> <p>REV:</p>
 <p>JAMES R. BONEY PROFESSIONAL LAND SURVEYOR NJ LICENSE No. 31264 13 STONE MILL CT, E.H.T., NJ 08234 Ph: 609-788-8013</p>	

James R. Boney & Associates, LLC
LAND SURVEYORS
N. J. LICENSE No. 31264 ♦ PA. LICENSE No. SU-048532-R

Legal Description

ALL THAT CERTAIN LAND AND PREMISES situate in the City of Margate, County of Atlantic and State of New Jersey being Lot 21, Block 131 as shown on the Official Tax Map of the City of Margate and being bounded and described as follows:

BEGINNING at the point of intersection of the southeasterly line of Ventnor Avenue (80 feet wide), and the southwesterly line of Monroe Avenue (50 feet wide) and from said point runs; thence

- (1) South 53 degrees 33 minutes 00 seconds West, along said line of Ventnor Avenue, a distance of 50.00 feet to a point; thence
- (2) South 36 degrees 27 minutes 00 seconds West, parallel to Monroe Avenue, a distance of 87.00 feet to a point; thence
- (3) North 53 degrees 33 minutes 00 seconds East, parallel to said line of Ventnor Avenue, a distance of 50.00 feet to a point in said line of Monroe Avenue; thence
- (4) North 36 degrees 27 minutes 00 seconds West, along Monroe Avenue a distance of 87.00 feet to the point and place of BEGINNING.

BEING commonly known as 9700-02 Ventnor Avenue.

Being Lot 1 in Block 131 on the Tax Map of the City of Margate

Described in accordance with a survey by James R. Boney, PLS dated January 30, 2018 revised to December 09, 2022.

December 9, 2022


James R. Boney, PLS

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Dana & Brian Hiltner				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue				Company NAIC Number:	
City Margate City		State New Jersey		ZIP Code 08402	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Block 131, Lot 21					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Commercial/Residential</u>					
A5. Latitude/Longitude: Lat. <u>N 39°19'12.4"</u> Long. <u>W 74°31'02.2"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A8.b _____ sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A9.b _____ sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Margate City 345304			B2. County Name Atlantic		B3. State New Jersey
B4. Map/Panel Number 34001C 0434	B5. Suffix F	B6. FIRM Index Date 08-28-2018	B7. FIRM Panel Effective/ Revised Date 08-28-2018	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 10.00
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue			Policy Number:	
City Margate City	State New Jersey	ZIP Code 08402	Company NAIC Number	

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Local BM Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

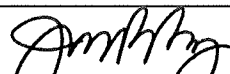
Check the measurement used.

- | | | | |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>5.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>14.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>5.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>4.8</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>4.9</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>4.8</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name James R. Boney, PLS		License Number 24GS03126400	<p style="text-align: center; font-size: 2em;">Place Seal Here</p>
Title Professional Land Surveyor			
Company Name James R. Boney & Associates			
Address 13 Stone Mill Court			
City Egg Harbor Twp	State New Jersey	ZIP Code 08234	
Signature 	Date 12-09-2022	Telephone (609) 788-8013	

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
Mechanicals to inside.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue			Policy Number:
City Margate City	State New Jersey	ZIP Code 08402	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue			Policy Number:
City Margate City	State New Jersey	ZIP Code 08402	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue			Policy Number:
City Margate City	State New Jersey	ZIP Code 08402	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Front

Clear Photo One



Photo Two

Photo Two Caption Rear

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 9700-02 Ventnor Avenue			Policy Number:
City Margate City	State New Jersey	ZIP Code 08402	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

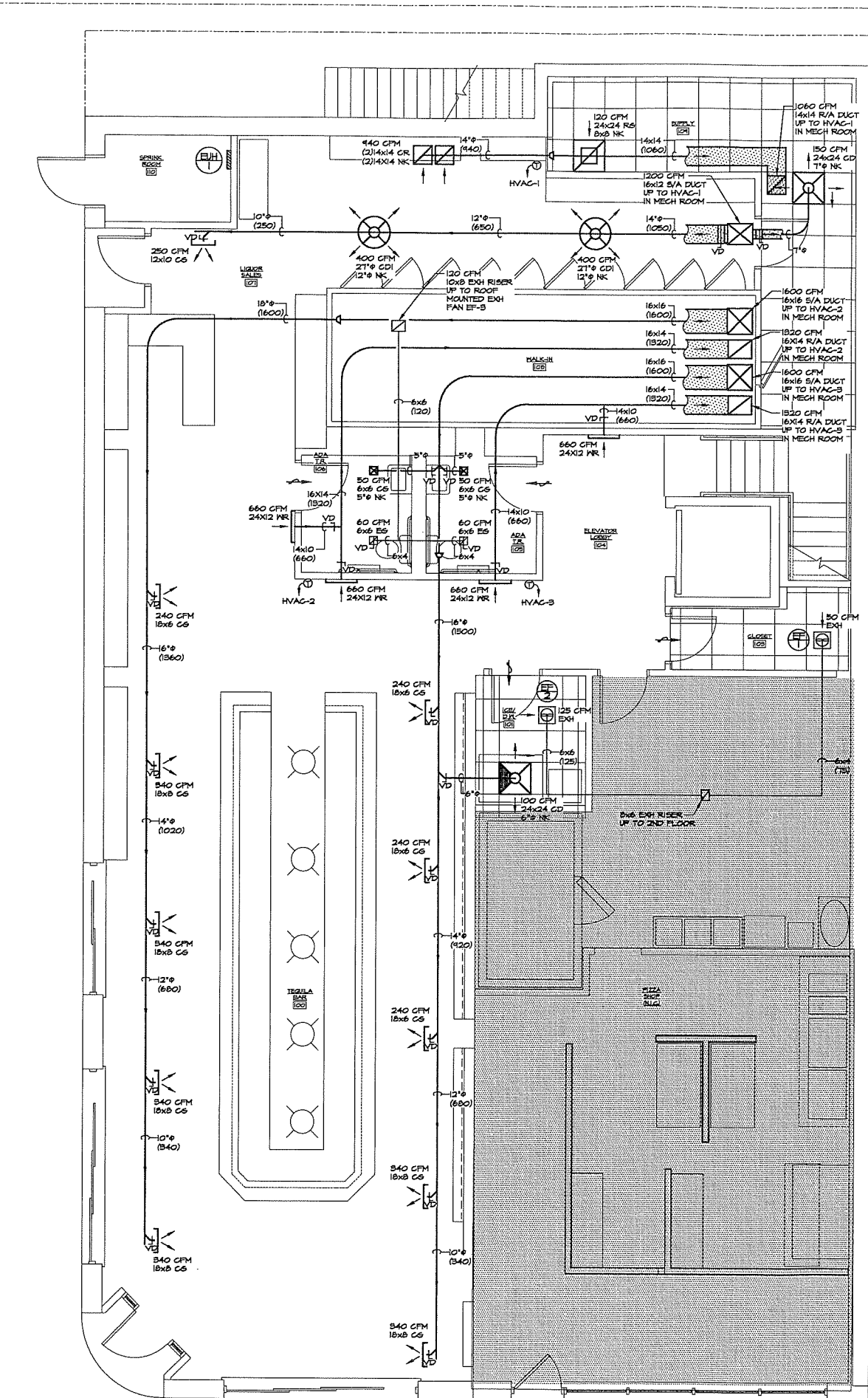
Photo Three Caption

Clear Photo Three

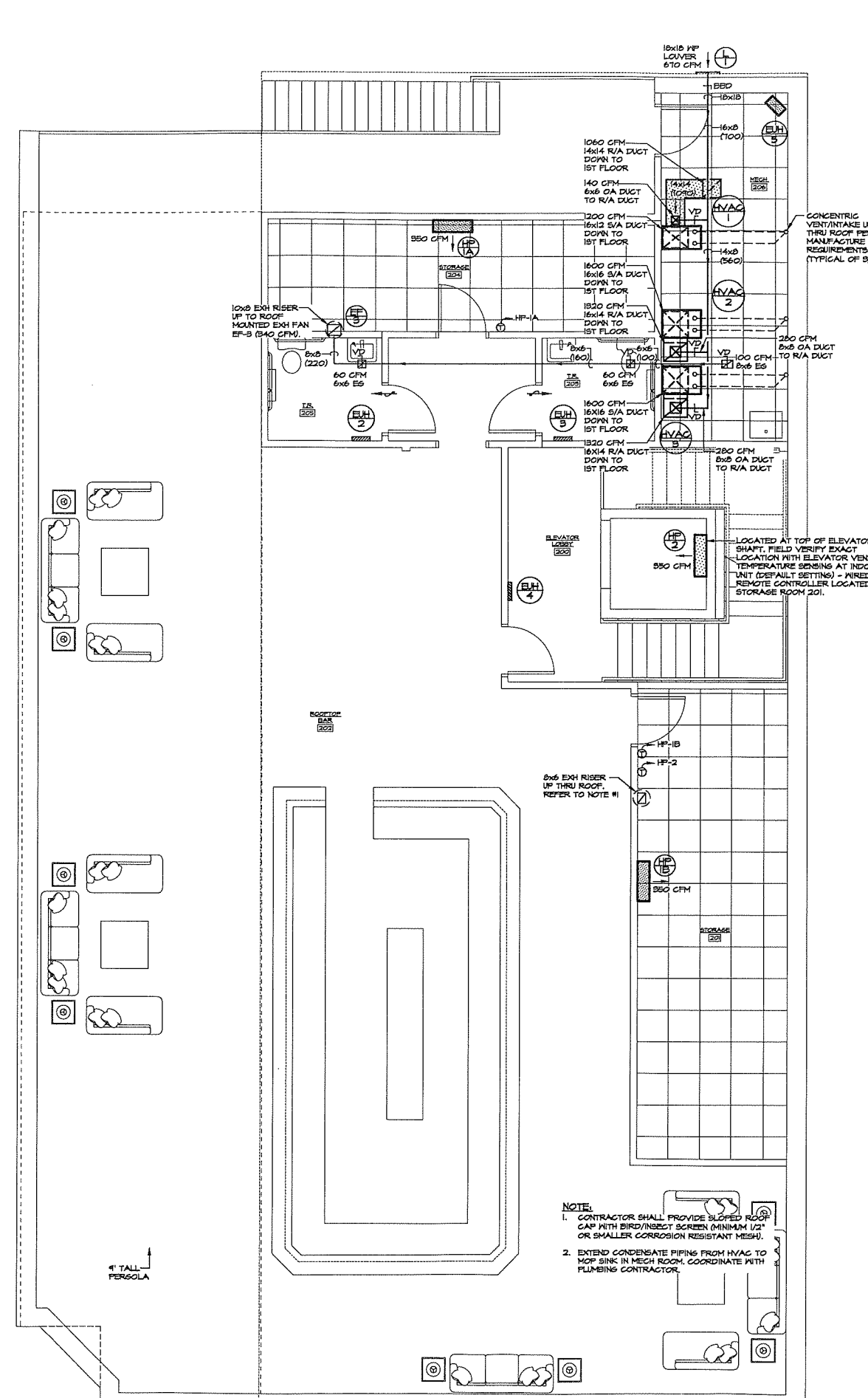
Photo Four

Photo Four Caption

Clear Photo Four



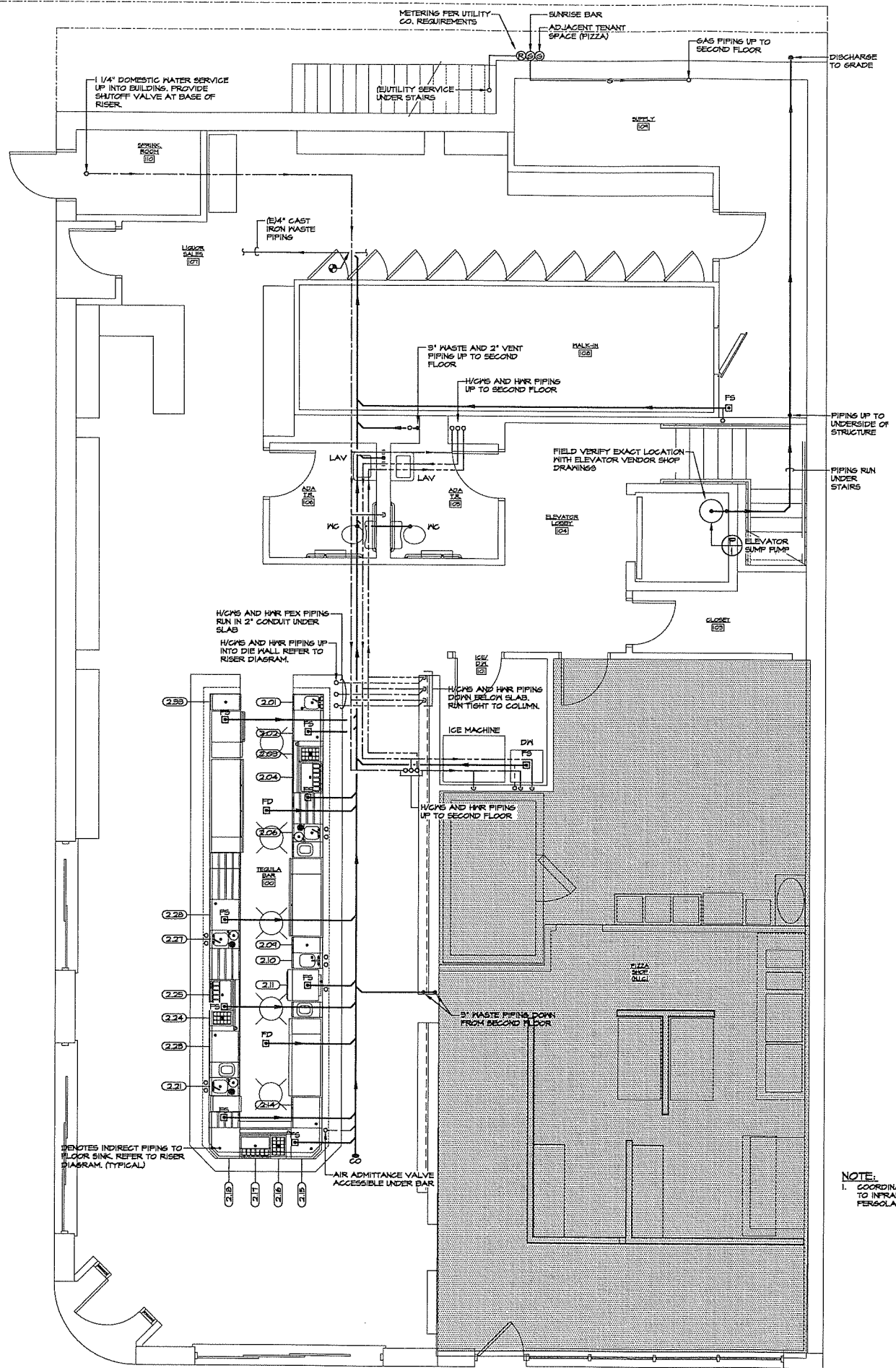
MECHANICAL 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



MECHANICAL 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

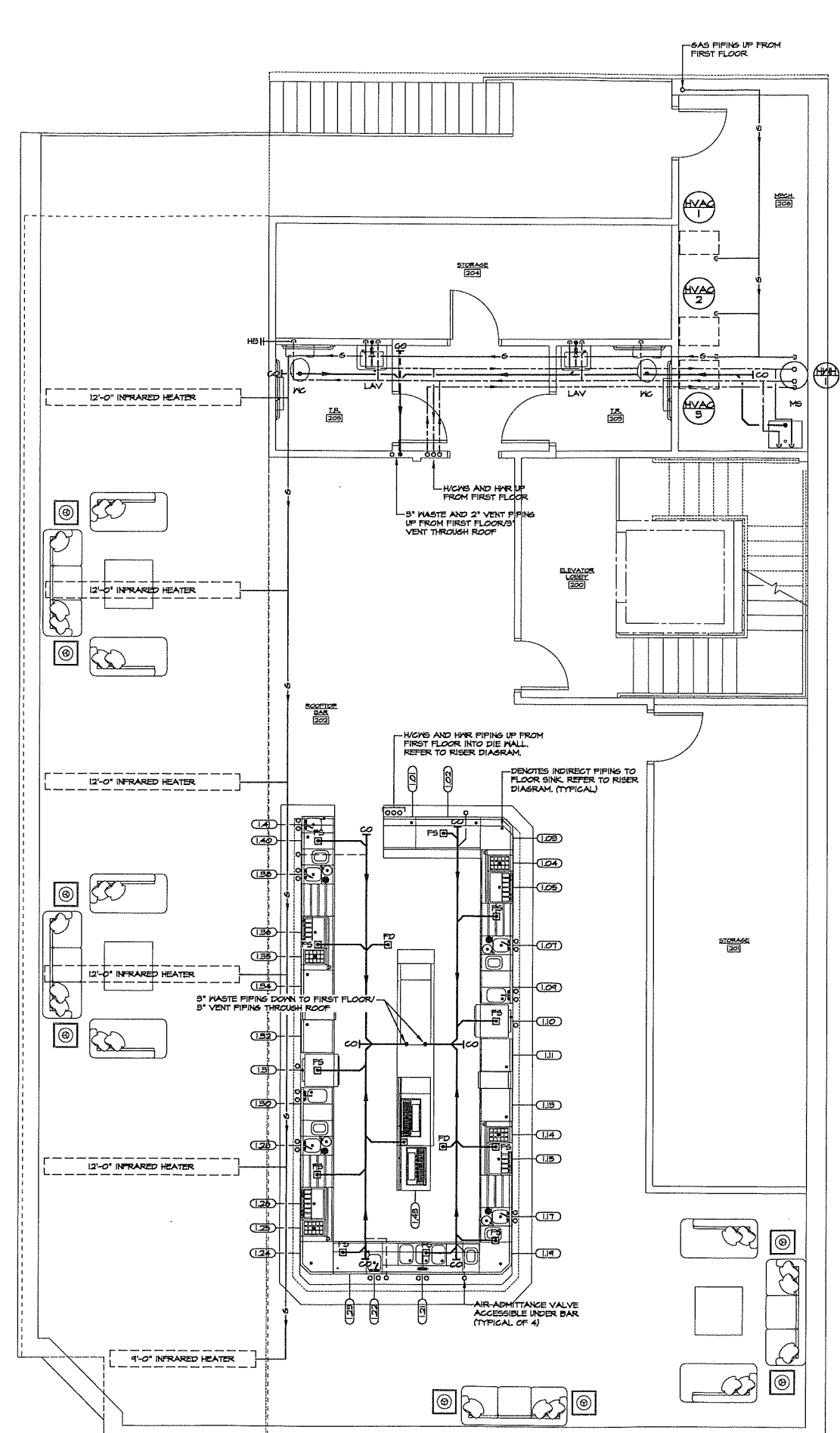
- NOTE:**
1. CONTRACTOR SHALL PROVIDE SLOPED ROOF CAP WITH BIRD/INSECT SCREEN (MINIMUM 1/2" OR SMALLER CORROSION RESISTANT MESH).
 2. EXTEND CONDENSATE PIPING FROM HVAC TO MOP SINK IN MECH ROOM. COORDINATE WITH PLUMBING CONTRACTOR.

<p>MPE CONSULTING AND DESIGN LLC MEMBER 9/21/2024 - PENMT</p>	
<p>REGISTERED PROFESSIONAL ENGINEER No. 248283800 REGISTERED PROFESSIONAL ENGINEER No. 0007476 REGISTERED PROFESSIONAL ENGINEER No. 0315163 REGISTERED PROFESSIONAL ENGINEER No. 71514</p>	
<p>Daniel A. Loveland Sr., P.E. Lead A/P</p>	
<p>MPE Consulting and Design LLC Certificate of Authorization No. 240002252500 Mechanical, Electrical, Plumbing, Fire Protection, and Energy 1000 N. State St. Williamstown, NJ 08094 P. 856.876.7001 mpe@designandcreate.com</p>	
<p>MECHANICAL FLOOR PLANS FOR SUNRISE BAR SITUATED AT 8700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>	
<p>SCALE: AS NOTED DATE: 9/21/2024 DRAWN BY: JZ CHECKED BY: DNF APPROVED BY: DAL BR</p>	<p>DWG NO. M1 1 of 14</p>



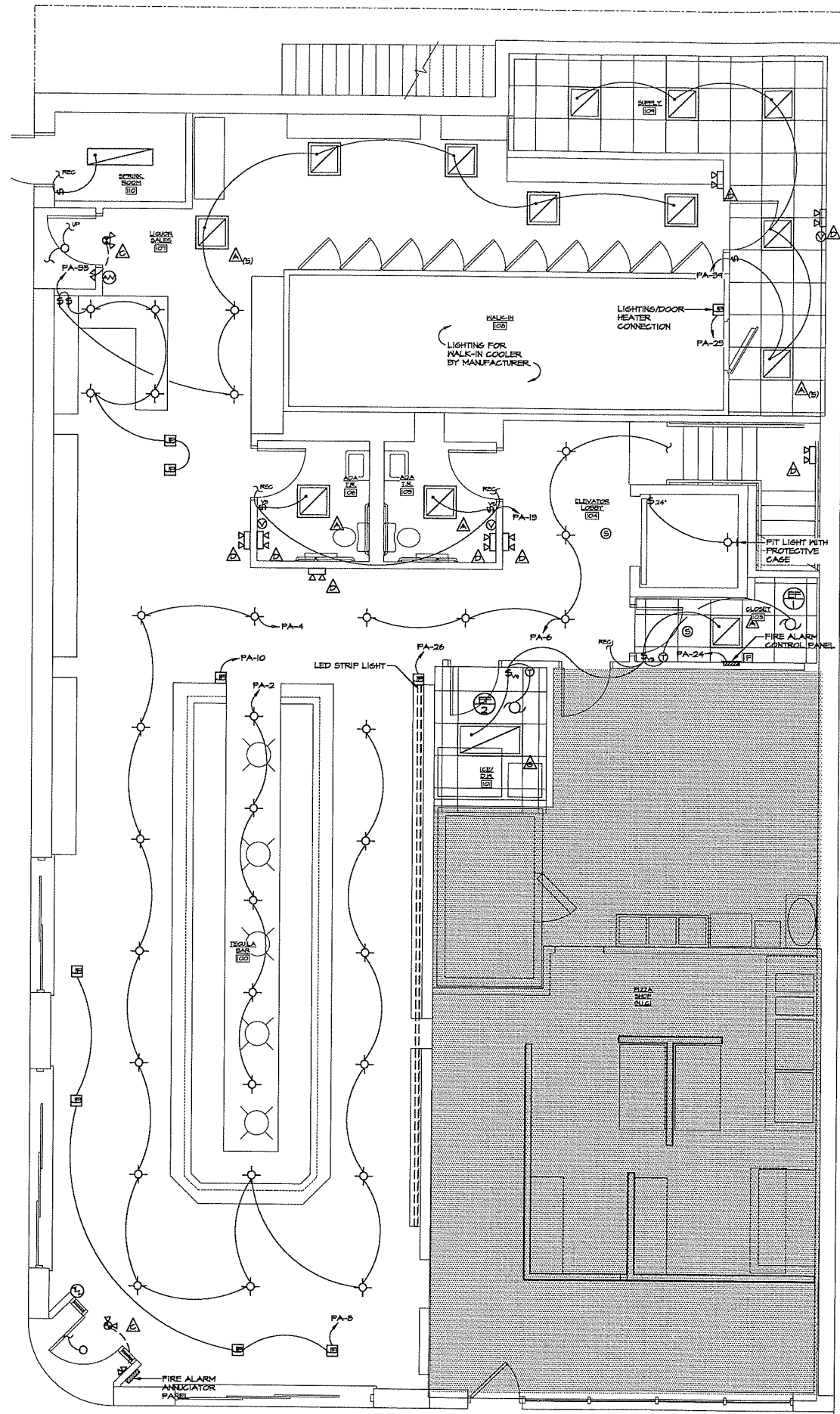
PLUMBING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
1. COORDINATE GAS INSTALLATION TO INFRARED HEATERS WITH PERGOLA VENDOR.

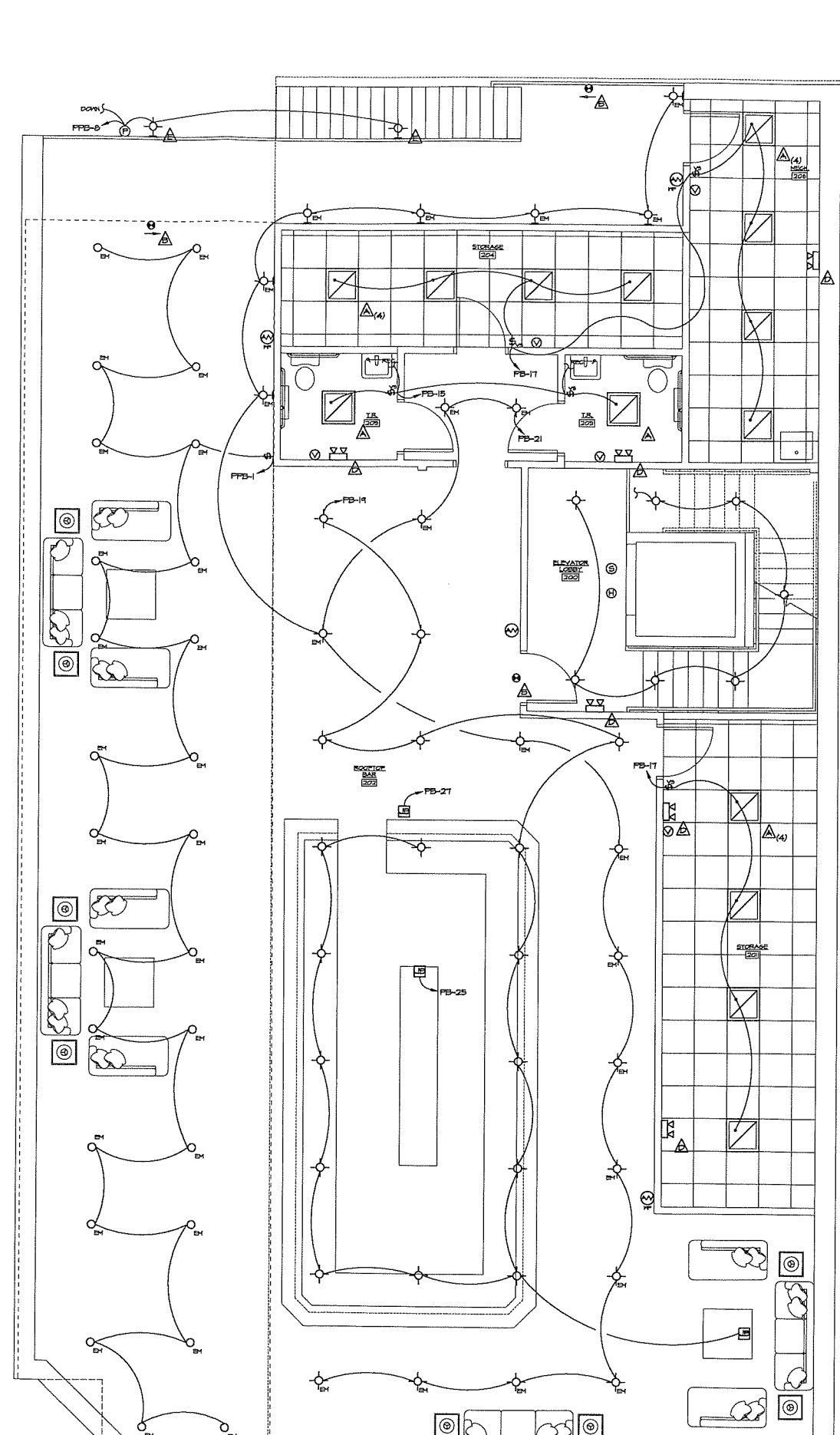


PLUMBING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

<p>MPB CONSULTING AND DESIGN LLC 1000 JEFFERSON LANE SUITE 200 MARGATE CITY, NJ 08402 P. 856.975.7001 mpbdesign@mpbdesign.com</p>	
<p>PROFESSIONAL ENGINEER NO. 24632325000 STATE OF NEW JERSEY DANIEL A. LOVELAND SR., P.E. LEAD A-P</p>	<p>PROFESSIONAL ENGINEER NO. 24632325000 STATE OF NEW JERSEY DANIEL A. LOVELAND SR., P.E. LEAD A-P</p>
<p>MPB CONSULTING AND DESIGN LLC OFFICE OF AUTHORIZATION NO. 24632325000 1000 JEFFERSON LANE SUITE 200 MARGATE CITY, NJ 08402 P. 856.975.7001 mpbdesign@mpbdesign.com</p>	
<p>PLUMBING FLOOR PLANS FOR SUNRISE BAR SITUATED AT 6700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>	
<p>SCALE: AS NOTED DATE: 3/21/2024 DRAWN BY: KUG CHECKED BY: DJF APPROVED BY: DAL SR.</p>	<p>DATE: _____</p>
<p>P1</p>	
<p>5 of 14</p>	



FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"



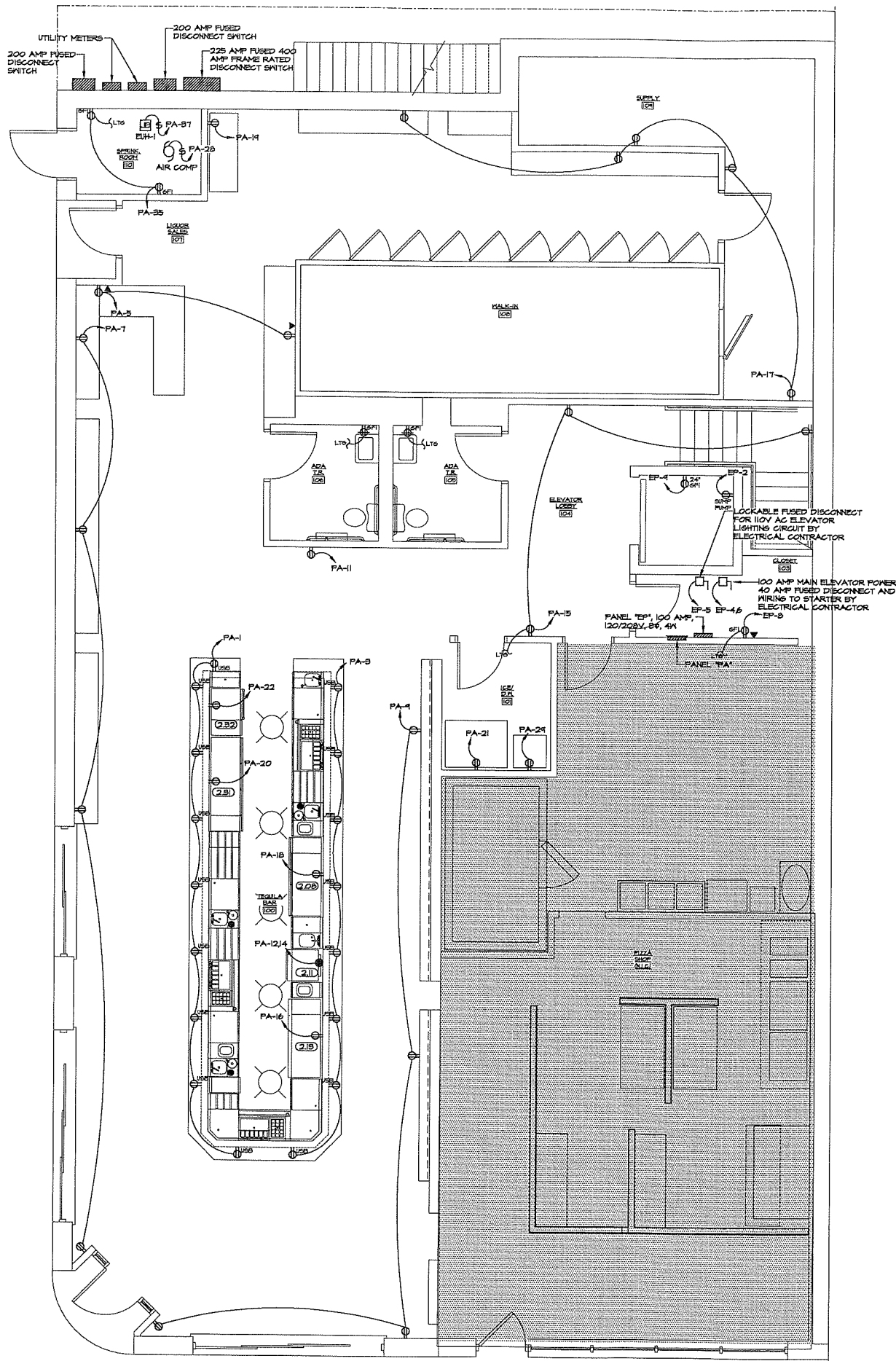
SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. LIGHTING FIXTURE SELECTIONS BY ARCHITECT/OWNER. CONTRACTOR SHALL PROVIDE COORDINATION AND ADHERE TO ALL REQUIREMENTS.
• IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER'S OFFICE BEFORE PROCEEDING.
2. CONTRACTOR SHALL PROVIDE LIGHTING CONTROL PER ARCHITECT/OWNER REQUEST.

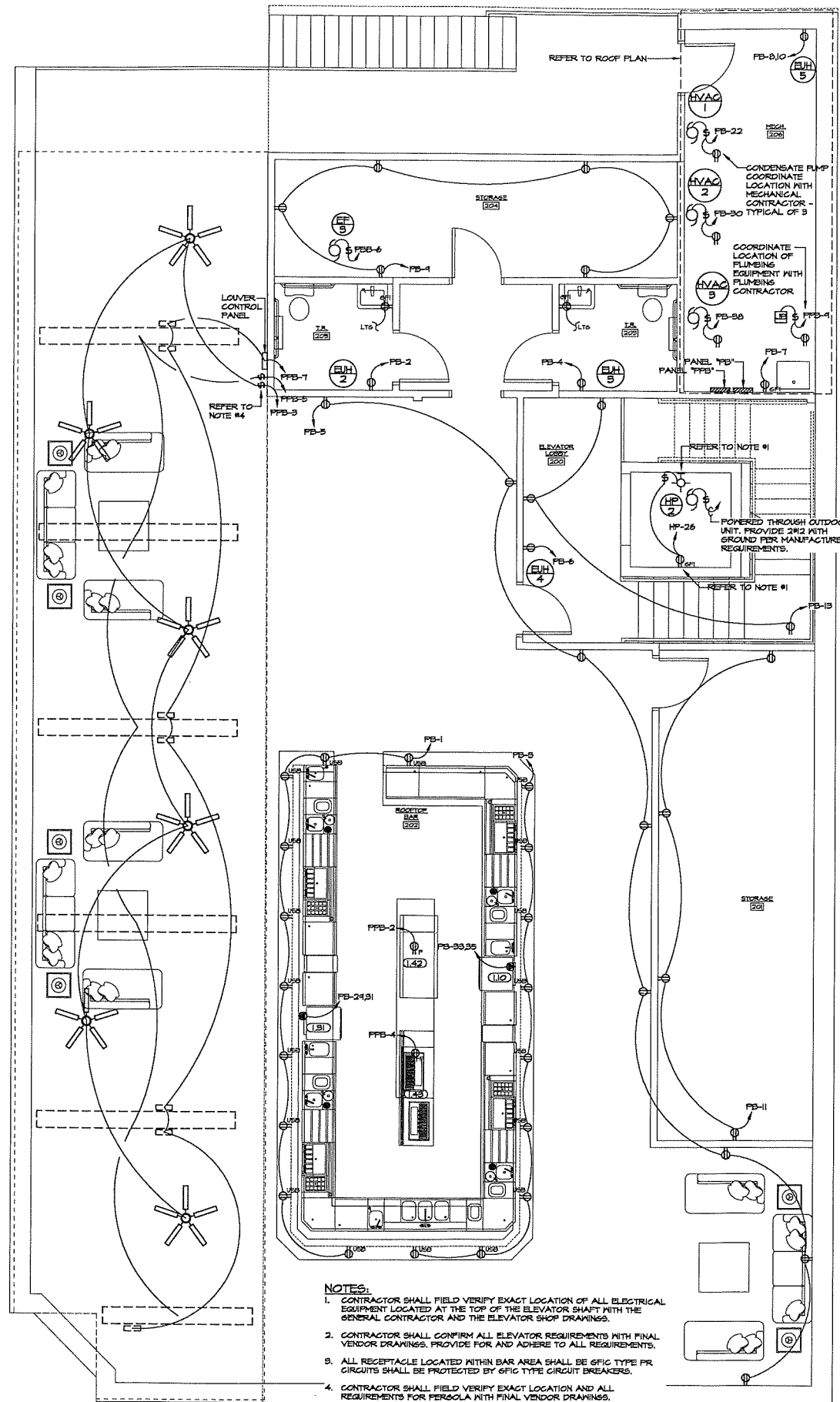
<p>DATE: AS NOTED DATE: 9/21/2024 DRAWN BY: RPF CHECKED BY: DJF APPROVED BY: DAL SR</p>		<p>SCALE: AS NOTED DATE: 9/21/2024 DRAWN BY: RPF CHECKED BY: DJF APPROVED BY: DAL SR</p>	
<p>LIGHTING FLOOR PLANS FOR SUNRISE BAR</p>			
<p>9700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>		<p>SITUATED AT 9700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>	
<p>MPE Consulting and Design LLC Certificate of Authorization No. 240A2828500 608 N. Biscayne Blvd., Suite 3 P. 855 875-7001 mpe@designanddesign.com</p>			
<p>Professional Engineer No. 240C038800 Professional Engineer No. 088141 Professional Engineer No. 088181 Professional Engineer No. 023893 Professional Engineer No. 7184</p>			
<p>DATE: 9/21/2024 - PERMIT</p>			
<p>MPE CONSULTING AND DESIGN, LLC IS A COMMON LAW CORPORATION AND IS NOT A PARTNER OR ASSOCIATE OF ANY OTHER COMPANY OR INDIVIDUAL AND IS NOT A MEMBER OF ANY OTHER ORGANIZATION. THE COMPANY'S OFFICE IS LOCATED AT 608 N. BISCAYNE BLVD., SUITE 3, MARGATE CITY, NJ 08402. THE COMPANY IS NOT A MEMBER OF ANY OTHER ORGANIZATION.</p>			



Daniel A. Loveland Sr., P.E.
Lead A-P
DATE:



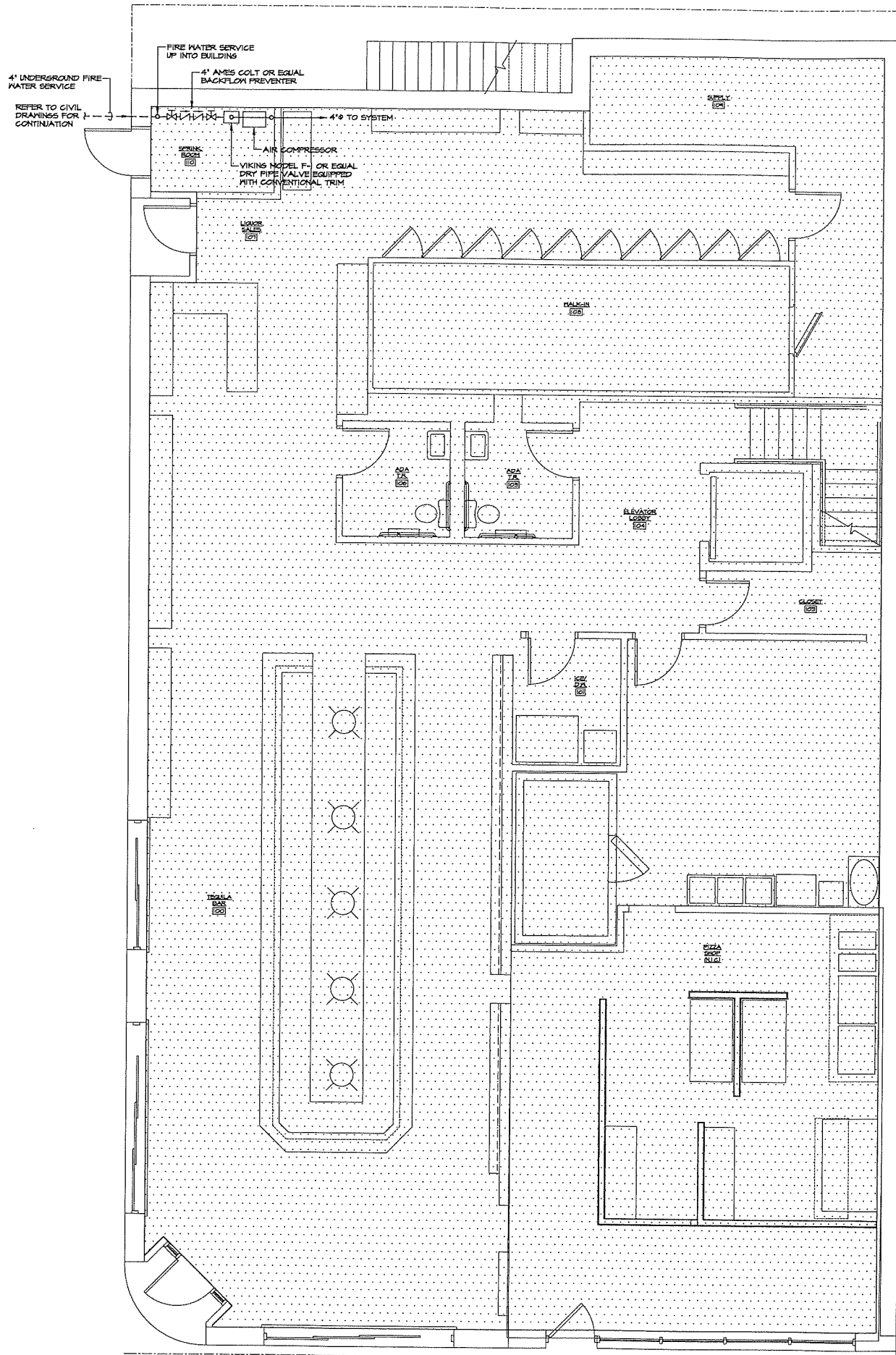
FIRST FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"



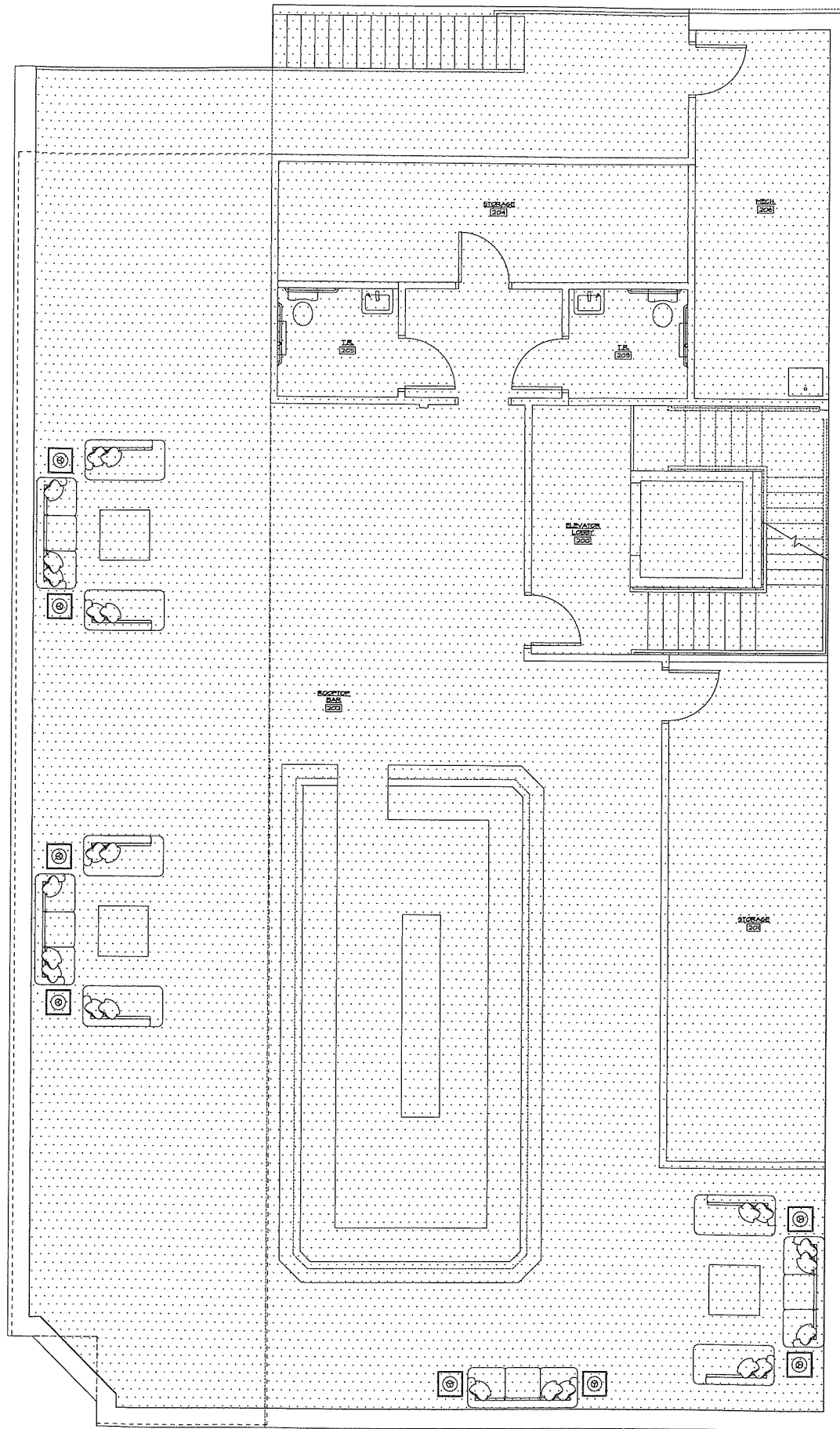
- NOTES:**
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL ELECTRICAL EQUIPMENT LOCATED AT THE TOP OF THE ELEVATOR SHAFT WITH THE GENERAL CONTRACTOR AND THE ELEVATOR SHOP DRAWINGS.
 - CONTRACTOR SHALL CONFIRM ALL ELEVATOR REQUIREMENTS WITH FINAL VENDOR DRAWINGS. PROVIDE FOR AND ADHERE TO ALL REQUIREMENTS.
 - ALL RECEPTACLE LOCATED WITHIN BAR AREA SHALL BE 5P1C TYPE PR. CIRCUITS SHALL BE PROTECTED BY 5P1C TYPE CIRCUIT BREAKERS.
 - CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND ALL REQUIREMENTS FOR PERGOLA WITH FINAL VENDOR DRAWINGS.

SECOND FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"

<p>MPD CONSULTING AND DESIGN LLC REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT STATE OF NEW JERSEY NO. 342000001 REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT STATE OF NEW YORK NO. 13281</p>	
<p>MEMBER: S1212024 - PERMIT</p>	
<p>NY PROFESSIONAL ENGINEER NO. 463284960 NJ PROFESSIONAL ENGINEER NO. 342000001 NY PROFESSIONAL ENGINEER NO. 13281 NJ PROFESSIONAL ENGINEER NO. 13281 PL PROFESSIONAL ENGINEER NO. 7334</p>	
<p>Daniel A. Loveland Sr., P.E. Lead A-P</p>	
<p>DATE: _____</p>	
<p>MPD Consulting and Design LLC Certificate of Authorization No. 24GA00226300 1035 N. Black Horse Pike, Suite 3 P. 859 876-7000 mpdesign@mpdesignllc.com</p>	
<p>POWER FLOOR PLANS FOR SUNRISE BAR SITUATED AT 8700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>	
<p>SCALE AS NOTED DATE 9/21/2024 DRAWN BY RPF CHECKED BY DJF APPROVED BY DAL SR</p>	<p>E2 10 of 14</p>



FIRST FLOOR FIRE PROTECTION PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR FIRE PROTECTION PLAN
SCALE: 1/4" = 1'-0"

<p>SCALE: AS NOTED DATE: 9/21/2024 DRAWN BY: K.J.G. CHECKED BY: D.J.F. APPROVED BY: DAL SR</p>	<p>FIRE PROTECTION FLOOR PLAN FOR SUNRISE BAR SITUATED AT 9700 VENTNOR AVENUE MARGATE CITY, NJ 08402</p>	<p>MPE Consulting and Design LLC Certificate of Authorization No. 240A2622500 1000 Route 138, Suite 3 Williamstown, NJ 08094 P. (609) 875-7001 mpe@designandbuild.com</p>
<p>MEMBER: 3/21/2024 - PERMIT</p>	<p>NY PROFESSIONAL ENGINEER No. 240238500 PA PROFESSIONAL ENGINEER No. 10079145 NJ PROFESSIONAL ENGINEER No. 088891 FL PROFESSIONAL ENGINEER No. 033593 DC PROFESSIONAL ENGINEER No. 7154</p>	<p>Daniel A. Loveland Sr., P.E. Lead A-P DATE: _____</p>
<p>FP1</p> <p>13 of 14</p>		



Eric S. Goldstein
Managing Partner

egoldstein@ndglegal.com

4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

t 609 927 1177

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March 14, 2024

VIA E-MAIL: MCLARNON_ROGER@MARGATE-NJ.COM
Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
Planning Engineering Zoning and Purchasing
City of Margate
Margate Planning and Zoning Board
Municipal Building
9001 Winchester Avenue
Margate, NJ 08402

VIA E-MAIL: GALANTINO_JIM@MARGATE-NJ.COM
Jim Galantino, Board Member/Construction Official
City of Margate
Margate Planning and Zoning Board
Municipal Building
9001 Winchester Avenue
Margate, NJ 08402

VIA E-MAIL: JSA@JSABBOTTLAW.COM
John Scott Abbott, Esquire
9 S. Washington Avenue #2304
Margate, NJ 08402

VIA E-MAIL: ARTHUR@ARTHURCHEWCONSULTING.COM
Arthur J. Chew, III, PE
Arthur Chew Consulting LLC
130 West Seaview Avenue
Linwood, NJ 08221

RE: Sunrise Wine & Tequila, LLC
9700 Ventnor Avenue
Block 131, Lot 21
Margate, Atlantic County, New Jersey
Our File No. 13158-001

Gentlemen:

Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
Jim Galantino, Board Member/Construction Official
John Scott Abbott, Esquire
Arthur J. Chew, III, PE
March 14, 2024
Page 2

As each of you are aware, I represent the owner of the above-referenced property, Sunrise Wine & Tequila, LLC.

My client has previously obtained certain land use approvals from the City of Margate Planning Board for the expansion of the existing wine and tequila bar by adding an upstairs "open air" lounge area above what had been the first level of the premises which was occupied by the wine and tequila bar on one side of the property, along with the franchise for Tony Baloney's restaurant on the other side of the first level.

At the time I initially filed the land use application for the property owner, I submitted an architectural plan from Baglivo Associates which included the installation of steel helical pilings at the property in order to support the construction that was originally proposed to occur on the second level.

The type of construction indicated on the plan is III-B, and the architect utilized the 2021 IBC Code, (New Jersey edition) to determine the required loads and support that would be necessary in order to properly make the renovations at the structure safe for patrons both upstairs and downstairs within the building.

During the Planning Board hearing for this matter on January 25, 2024, the Planning Board approved the property owner's application and granted certain variance relief as more further set forth on the attached Decision and Resolution which was adopted by the City of Margate Planning Board on February 22, 2024.

The property owners have been diligently working on the property with their contractors, architect, and engineer to determine the safest way to construct the building in order to meet all of the appropriate codes to renovate the building to make it as safe as possible for future patrons to occupy the structure.

At the time the property owners began the first phase of non-structural demolition, it was determined by the project engineer that the walls of the building were not supported by a proper foundation, and the walls themselves (along with much of the interior structural support system) should be replaced in their existing location with more steel, concrete, and structural supports in order to provide for the public's safety, health and welfare at the building.

Helical pilings, concrete, steel, and other structural supports are being installed at the property at the present time. However, due to the need to replace walls at the property, and due to the need to support those walls with steel and concrete, the old cinderblock walls at the property had to be replaced and still need replacement (for the walls that have not yet been reconstructed).

Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
Jim Galantino, Board Member/Construction Official
John Scott Abbott, Esquire
Arthur J. Chew, III, PE
March 14, 2024
Page 3

In this regard, Mr. McLarnon and Mr. Galantino had requested a meeting at the site, and we did in fact meet there on February 29th, in order to discuss the project and how the property owner can make sure it is built as safely as possible and as flood-proofed as possible.

Both the public safety issue and the flood-proofing issue are, of course, of the utmost importance not only for the property owner but also for the City of Margate, as well as for FEMA's requirements.

In this regard, and out of an abundance of caution, the property owner has determined that it may be a requirement (based upon the city's present Base Flood Elevation requirements, FEMA's flood requirements, the Uniform Construction Code's requirements, and other planning and zoning considerations), to return to the City of Margate Planning Board for an update and amendment to the approvals that were previously obtained, in order to ensure that the structure which is ultimately built complies with all legal requirements of commercial structures such as this.

Once again, out of an abundance of caution, the property owner will be submitting a new Staff Committee Application to the City of Margate for what it believes could potentially be a need for an amended approval for the overall dimensions of the structure.

If, however, it is determined that an amended approval is not necessary, then this letter shall be moot.

Conversely, if it is determined that an amended approval(s) is required by the planning board, then the property owner would propose that it continue construction at its own risk and with the knowledge that any construction which does not meet the required codes as set forth above would need to be "legalized" at a future date.

Perhaps that could occur administratively or even through a formal hearing. The property owner is a responsible corporate citizen within the City of Margate and has agreed to do what the city directs it to do, in order to make sure that the structure safe and secure both from a structural standpoint and from a flood proofing standpoint as well.

Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
Jim Galantino, Board Member/Construction Official
John Scott Abbott, Esquire
Arthur J. Chew, III, PE
March 14, 2024
Page 4

I will forward to everyone's attention a copy of a revised Staff Committee Application in the very near future and the city and/or planning board can direct the property owner as to what it would like it to do next.

Respectfully submitted,

NEHMAD DAVIS & GOLDSTEIN, P.C.

By: *Eric S. Goldstein*
ERIC S. GOLDSTEIN

ESG/lmm
Enclosure

c: Sunrise Wine & Tequila, LLC (w/encl. via e-mail)
Thomas Baglivo, RA (w/encl. via e-mail)
13158-001/68546

MANOS LAW FIRM, LLC

Elias T. Manos, Esq. – NJ Attorney ID #026092004

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Northfield, New Jersey 08225

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Email: leo@manoslawfirm.com

Solicitor for the City of Margate Planning Board

APPLICATION OF SUNRISE WINE AND
TEQUILA, LLC FOR CHECKLIST
WAIVERS, C VARIANCE RELIEF AND
MINOR SITE PLAN APPROVAL FOR
BLOCK 131, LOT 21

*CITY OF MARGATE
PLANNING BOARD*

9-2024

DECISION AND RESOLUTION

THIS MATTER, having been heard by the City of Margate Planning Board (sometimes referred to hereafter as the “Planning Board” or “Board”) on January 25, 2024 at a meeting held at Margate Historic City Hall, 1 S. Washington Avenue, Margate, NJ, and a quorum being present; and

WHEREAS, the Applicant, Sunrise Wine and Tequila, LLC (“Applicant”), has applied to the Board seeking checklist waivers, variance relief pursuant to N.J.S.A. 40:55D-70c, and minor site plan approval (all as detailed more fully below) in order to renovate and construct a second floor deck addition to the existing bar and restaurant on property identified as Lot 21 in Block 131 on the Margate City Tax Map, which property is located at 9700 Ventnor Avenue; and

WHEREAS, the Applicant was represented at the hearing by Eric S. Goldstein, Esquire; and

WHEREAS, the Planning Board has reviewed the Application submitted by the Applicant together with all attachments and all exhibits submitted with the Application; and

WHEREAS, the Board heard the testimony of the Board Engineer and Planner, Roger McLarnon, PE, PP, and reviewed and received his report dated January 24, 2024; and

WHEREAS, the following professional witness testified on behalf of the Applicant during the course of the hearing, whose qualifications were accepted in his respective professions by the Board:

1. Arthur J. Chew, PE, PP, a professional engineer and planner in the State of New Jersey, described the proposal by the Applicant in detail and offered extensive planning testimony to justify the relief requested and required by the Applicant; and

WHEREAS, Brian Hiltner, a principal of the Applicant, also testified during the course of the hearing as to the proposed day-to-day operations of the bar and restaurant; and

WHEREAS, the Applicant marked and offered the following additional exhibit into evidence during the course of the hearing:

A-1 Colored Rending

and

WHEREAS, during the public portion of the hearing, the following people spoke:

1. Jeffrey P. Barnes, Esquire, represented and spoke on behalf of several property owners in the City of Margate, some of whom own property within a 200-foot radius of the subject property and some of whom do not. Mr. Barnes presented and offered into evidence Exhibit O-1, which provides a list of his clients, their addresses in the City of Margate and depicts the location of some of their properties in relation to the subject property. Several of Mr. Barnes' clients on Exhibit O-1 also spoke separately during the public portion of the hearing, as further detailed below. Mr. Barnes additionally presented the affirmative testimony of Louis A. Scheidt, PE, PP, a licensed professional engineer and planner in the State of New Jersey, whose qualifications in his respective professions were accepted by the Board. Mr. Scheidt presented planning testimony in opposition to the Application.

2. Steve Blum (9711 Ventnor Avenue in the Royal Palms Condominium and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns over a potential nightclub atmosphere, large crowds and trash.

3. Janet McCarron (8801 Amherst Avenue) spoke in favor of the Application and viewed the project as an asset to the City of Margate.

4. Pam Girgenti (9600 Atlantic Avenue) indicated that she was a new resident to the City of Margate, enjoyed the City's walkability and indicated that she was in favor of the Application.

5. Eli Pearlman (10 S. Monroe Avenue and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns about noise, police involvement, parking, trash and the potential impact on property values.

6. Benson Goldberger (9612 Ventnor Avenue, Unit C, and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns about noise, trash and safety.

7. Marissa Keddiss (2B S. Coolidge Avenue and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns about parking, noise and safety.

8. Steve Baglivo (8005 Atlantic Avenue) spoke in favor of the Application and discussed the design and features of the proposed project, which he viewed favorably.

9. Ed Berger (9402 Amherst Avenue and part of the City of Margate Business Association) spoke in favor of the Application and emphasized the importance of a healthy business community.

10. Maryanne Murphy (9711 Ventnor Avenue and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns over the size of the project, infrastructure maintenance and trash.

11. Jeff Hoffner (5 S. Monroe Avenue) spoke in opposition to the Application and expressed concerns over trash, parking and loading, and questioned the fate of the bus stop in front of the property.

12. Greg Lorenz (5 N. Monroe Avenue and listed on Exhibit O-1) spoke in opposition to the Application and expressed concerns about parking, traffic safety and noise.

and

WHEREAS, the City of Margate Planning Board, based upon the Application submitted, the report and testimony of the Planning Board Engineer and Planner, and the testimony presented by and on behalf of Applicant, and from the public both in support of and in opposition to the Application, as well as all plans and exhibits presented, makes the following findings of fact and conclusions of law:

1. The Applicant is, as noted, Sunrise Wine and Tequila, LLC and the subject property is located at 9700 Ventnor Avenue.

2. The Applicant has submitted a properly filed Application, and all required documents, and has paid all required fees and has complied with the advertising and notice requirements of the Municipal Land Use Law.

3. The property is known as Block 131, Lot 21.

4. The property is serviced by public water and public sewer.

5. The subject property is located in the C-2 Commercial District (the "C-2 Zone") at the corner of Ventnor Avenue and Monroe Avenue. As a corner property, it is considered to have two front yards (i.e. Ventnor Avenue and Coolidge Avenue) and two side yards pursuant to the City of Margate zoning ordinance. The property is 4,350 square feet in total lot area, with 50 feet of frontage along Ventnor Avenue and 87 feet of frontage along Monroe Avenue. The

existing building on the property, which has been there for some time, consists of the pizza parlor known as Tony Baloney's on the Longport side and the Sunrise Wine and Tequila Bar on the Ventnor side. Both businesses are located on the ground floor with two residential apartments on the second floor. The existing building on the property essentially runs property line to property line, with a 1.1 foot front yard setback along Ventnor Avenue, a zero foot front yard setback along Monroe Avenue, a side yard setback opposite Ventnor Avenue of 1.38 feet and a side yard setback opposite Monroe Avenue of zero feet. The setbacks to the building are existing nonconforming conditions as the C-2 Zone, as set forth in Schedule B-2 of the §175 of the City of Margate zoning ordinance, currently requires front yard setbacks of six feet, side yard setbacks of three feet and a combined side yard setback of 10 feet. It should be noted that a prior iteration of the City of Margate zoning ordinance that was in effect when the building was constructed allowed for zero foot front and side yard setbacks in the C-2 Zone. The existing building has no on-site parking and the residential component would require four total spaces per §175-36C of the City of Margate zoning ordinance.

6. The Applicant is proposing to demolish the two residential apartments on the second floor, renovate the building and construct a new second floor deck for up to 89 additional occupants. The second floor deck will have a bar and lounge area, among other features. The portion of the deck closer to the Longport side will be covered by a peaked roof structure while the side closer to Ventnor will have a pergola type structure with slats that can open and close. A new elevator will be installed and the building will be made compliant with the Americans with Disabilities Act. The main entrance to the bar will be located at its existing location near the corner of the building at Ventnor Avenue and Monroe Avenue, while stairs to the second floor deck will be located on the left side of the property along Monroe Avenue. The existing

footprint of the building is not being expanded and the height of the building will remain below the permitted maximum height of 34 feet from the top of the curb. As with the existing conditions, no on-site parking is proposed by the Applicant. The proposal by the Applicant is shown more fully on the plans submitted with the Application and presented to the Board prepared by Thomas Baglivo, RA, dated January 3, 2024 (5 sheets). An existing conditions survey was also submitted with the Application prepared by James R. Boney dated December 9, 2022 (1 sheet).

7. Pursuant to §175-36B of the City of Margate zoning ordinance, a bar requires one on-site parking space for every 10 occupants at capacity. Pursuant to §175-36A of the City of Margate zoning ordinance: “No on-site parking shall be required for existing nonresidential floor area within the Central Business District (CBD), C-1, C-2 [Zone], Waterfront Special District (WSD) and Riparian (R) Zones; however, existing parking must be maintained. Parking for residential conversions and all building additions, however, shall be provided on site in the CBD, C-1, C-2 [Zone], Waterfront Special District (WSD) and Riparian (R) Zones.” Thus, the addition of 89 occupants for the second floor bar requires nine total on-site parking spaces. Since zero parking spaces are being provided, variance relief pursuant to N.J.S.A. 40:55D-70c is required from that condition. Variance relief pursuant to N.J.S.A. 40:55D-70c is also required due to the vertical expansion of the aforementioned front and side yard setbacks, as is minor site plan approval for the project and certain checklist or submission waivers. The specific relief required by the Applicant is set forth more fully in paragraph 12 below.

8. As noted, Arthur J. Chew, PE, PP, a licensed professional engineer and planner in the State of New Jersey, and Brian Hiltner, a principal of the Applicant, testified during the course of the public hearing. Mr. Chew’s testimony detailed the existing conditions of the

property and the current proposal by the Applicant. Mr. Chew testified that the project was part of the initial corridor along Ventnor Avenue when entering the City of Margate from Longport. He stated that the use on the property, of a pizza shop and a bar, is a permitted use in the C-2 Zone that is not changing and that the existing use, through the second floor addition, is only increasing in intensity. He indicated that the footprint of the building is not being expanded such that light, air and open space will not be significantly impacted as a result of the expansion. Mr. Chew testified that the pergola on the second floor deck will have adjustable slats that will be hurricane and sound proof when closed, but can still be opened to provide for light and air. He further testified that the entire structure was being renovated and, utilizing Exhibit A-1, would provide much improved aesthetics to an older building. He noted that the building would be dry flood proofed with flood barriers and made compliant with the Americans with Disabilities Act, and that any noise generated would be subject to enforcement by the City of Margate's noise control ordinance. Mr. Chew, citing to the City of Margate Master Plan, testified that one of the goals of the Master Plan was to promote businesses with or without parking and that the City of Margate, like many resort communities, lacks parking. He testified that the City of Margate was a walkable community with bike lanes and bike racks, and noted the increasingly utilized other modes of transportation such as Uber. Mr. Chew also presented extensive planning testimony to support the relief requested by the Applicants, including his opinion that the project, with the requested deviations, advanced several purposes of zoning set forth in N.J.S.A. 40:55D-2, including promotion of the general welfare, providing for light, air and open space and improved aesthetics, and that the variances in his opinion could be advanced without substantial detriment to the public good or to the zone plan or zoning ordinance of the City of Margate. Mr. Hiltner detailed some of the proposed day-to-day operations of the project. Testimony indicated that

there would be between 10 to 15 employees, including four security guards for the bar operation. Mr. Hiltner agreed that the footcandles for the site lighting would comply with the City of Margate zoning ordinance. He testified that the Applicant switched trash companies and that the Applicant increased the number of trash cans, which will be stored along the Monroe Avenue side of the property. He indicated that scheduled trash and recycling pickups would occur three to four times per week and can be increased if circumstances dictate. He indicated that the Tony Baloney's pizza shop, presumably due to liquor license regulations, can be opened only when the bar is opened and that both would open daily at 10 a.m. Mr. Chew and Mr. Hiltner also answered any questions posed by the Board and members of the public. The full testimony of Mr. Chew and Mr. Hiltner is incorporated herein by reference.

9. During the public portion of the hearing, Jeffrey P. Barnes, Esquire, representing the property owners listed on Exhibit O-1, as noted, presented the affirmative testimony of Louis A. Scheidt, PE, PP, a licensed professional engineer and planner in the State of New Jersey, in opposition to the Application. Mr. Scheidt testified that in his opinion, the second floor deck proposed by the Applicant was a roof top deck that required additional variance relief from the Board, and specifically use variance relief pursuant to N.J.S.A. 40:55D-70d(1). Mr. Scheidt also testified that no noise study was done and that the Applicant's proposal would increase noise and that parking would be a problem with up to 89 additional occupants. Mr. Scheidt indicated that the section of the City of Margate Master Plan on the C-2 Zone made no mention of restaurants or say much about parking. He testified that having zero on-site parking has been ignored by the Applicant and indicated that a traffic impact study should have been undertaken. Mr. Scheidt further testified that a building that has almost no front or side yard setbacks impedes light, air and open space and can present a safety issue. He moreover testified that dry flood proofing the

building does not, in his opinion, secure the property from flooding and that the other purposes of zoning the Applicant attempted to advance could all be accomplished with a less intensive project. He opined that it would be a reasonable expectation for anyone purchasing a property in the area that the use of the subject property would not be increased so drastically. Mr. Scheidt testified that in his opinion the negatives of the project, in terms of traffic, trash and parking, would be an impact on the neighborhood and that the project does not reconcile well with the City of Margate zone plan or zoning ordinance. The full testimony of Mr. Scheidt is incorporated herein by reference.

10. Several others members of the public, both in favor of and in opposition to the Application also spoke during the public portion of the hearing. Their testimony is noted above and is incorporated herein by reference.

11. Roger McLarnon, PE, PP, the Board Engineer and Planner, also read a summary of his report dated January 24, 2024 into the record during the course of the hearing. Mr. McLarnon included the minor site plan checklist as part of his report and, during his testimony, reviewed and supported the checklist or submission waivers sought by the Applicant.

12. The within Application is for:

a) A checklist waiver from the submission of a written traffic impact study, as well as the following items set forth on the minor site plan checklist of Appendix A to §175 of the City of Margate zoning ordinance: Item 11i (Drainage pipes and other improvements); Item 11j (Natural features and treed areas, both on tract and within 200 feet of its boundary); Item 11k (sewer, water and other utilities); Item 11l (Lighting including photometrics and landscaping); and Item 11m (Signage including details). The Board also notes that Item 8, Item 11o and Items

12-21 set forth on the minor site plan checklist of Appendix A to §175 of the City of Margate zoning ordinance are inapplicable to this Application.

- b) Bulk variance approval pursuant to N.J.S.A. 40:55D-70c for the following:

<u>C Variances*</u>	<u>Min. Required/ Max. Permitted</u>	<u>Proposed</u>
Parking spaces	9	0
Front yard setback (Building - Ventnor)	6 ft.	1.1 ft.
Front yard setback (Deck - Ventnor)	6 ft.	1.1 ft.
Front yard setback (Building - Monroe)	6 ft.	0 ft.
Front yard setback (Deck - Monroe)	6 ft.	0 ft.
Side yard setback (Building - right)	3 ft.	0 ft.
Side yard setback (Deck - right)	3 ft.	0 ft.
Side yard setback (Building - left)	3 ft.	1.38 ft.
Side yard setback (Deck - left)	3 ft.	1.38 ft.
Combined side yard setback	10 ft.	1.38 ft.

*The parking space variance noted above is from §175-36A and B of the City of Margate zoning ordinance. The front, side yard and combined side yard setback variances noted above are from Schedule B-2 of §175 of the City of Margate zoning ordinance. The right side yard setbacks noted above are when viewing the property from Ventnor Avenue and the left side yard setbacks noted above are when viewing the property from Monroe Avenue.

- c) Minor site plan approval for the proposed project.

13. Based upon the testimony and evidence presented, the City of Margate Planning Board makes the following additional findings of fact and conclusions of law, and decision:

- a) The Board finds the checklist waiver requested by the Applicant from the submission of a written traffic impact study as detailed in paragraph 12 above is reasonable and

justified, and should be granted. The Board notes that pursuant to §175-16 of the City of Margate zoning ordinance, it (i.e. the Board) “may require a traffic impact statement as part of preliminary approval of a major subdivision or site plan if, in the opinion of the Board, the development could have an adverse impact on the road network, ingress/egress or on-site circulation.” The Board finds that in this instance, the Board has discretion to require a traffic impact statement in the case of a major subdivision or site plan. The Board notes that it has determined this to be an Application for minor site plan approval, as opposed to major site plan approval, and that a traffic impact study is not required for minor site plan approval. The Board finds further evidence that a traffic impact study is not required in the minor site plan checklist of Appendix A to §175 of the City of Margate zoning ordinance, which sets forth no such requirement. The Board moreover finds that, in its discretion, the proposed project will not have an adverse impact on the road network, ingress/egress or on-site circulation and that a traffic impact study is not required.

The Board also finds that the other checklist waivers requested by the Applicant, as noted in paragraph 12 above, are reasonable and justified and should be granted. In that regard, the Board notes that no new drainage pipes (Item 11i) are being provided and that the only natural areas or treed features on the property and within 200 feet of the property (Item 11j) are street trees in the vicinity which need not be shown. The Board further finds that sewer, water and other utilities (Item 11k) are all existing, and notes the testimony presented on behalf of the Applicant that site lighting will not exceed the footcandle limit of the City of Margate zoning ordinance, and additionally that there is no significant room on the property for landscaping (Item 11l). The Board also notes that the Applicant will have to provide signage details for zoning review (Item 11m) and, if the proposed signage is not compliant with the City of Margate

zoning ordinance, will have to seek further relief from the Board. The Board moreover notes that Items 8, 11o and 12-21 are not applicable to an Application such as this.

For these reasons, the Board finds that the checklist waivers should be granted. In reaching this decision, the Board notes the testimony of the Board Engineer and Planner that the above items can be waived and further notes the limited nature of new site improvements proposed.

b) The Board finds that pursuant to N.J.S.A. 40:55D-70c(2), the Municipal Land Use Act would be advanced by a deviation or departure from the Margate zoning ordinance requirements for the requested variances noted in paragraph 12 and that the benefits of the requested variances substantially outweigh any detriments. Further, the Board finds that the requested variance relief set forth in paragraph 12 will not cause a substantial detriment to the public good and will not substantially impair the intent and the purpose of the zone plan or zoning ordinance of the City of Margate.

Specifically, pursuant to N.J.S.A. 40:55D-70c(2), the Board finds that the Applicant's proposal for the property, both as a whole and in terms of the specific deviations requested, advances several purposes of zoning set forth in N.J.S.A. 40:55D-2, and specifically sections:

a. Promote General Welfare - the Board finds that the Applicant is fortifying a commercial zoning district in the City of Margate, that being the C-2 Zone, by upgrading the existing building on the property with new renovations and adding a second floor deck for a bar and lounge for up to 89 occupants. The Board further finds that the proposed development is laid out in such a fashion that it fits in scope and scale with its location and will provide a type of entry way project into the City of Margate. The Board finds that as a result, and by

advancing the other purposes of zoning detailed below, the Applicant's proposal will promote the general welfare.

b. Secure Safety from Flood - the Board notes that the Applicant is dry flood proofing the building on the property and installing flood barriers. The Board notes that the existing building is not flood proof and that the Applicant is making a significant improvement to secure the property from flooding over existing conditions. The Board notes that the Applicant has not sought to elevate the building, but has taken the more reasonable approach of dry flood proofing it, with a second floor deck expansion.

c. Provide Adequate Light, Air and Open Space - the Board finds that the Applicant is taking an existing building and adding a second floor deck expansion, that will have a pergola type structure that can be opened and closed through the use of slats. The Board further notes that the Applicant is working within the existing footprint of the building and the project is below the allowable height for the C-2 Zone. The Board finds that the project overall will not significantly impact light, air and open space.

i. Aesthetic Enhancement - the Board finds that the project promotes a desirable visual environment through creative development techniques and good civic design and arrangement as the Applicant and his architectural team are renovating the existing building on the property and constructing a new second floor deck. The Board finds that the proposed development, as shown on the rendering marked as Exhibit A-1, will provide a significant aesthetic upgrade to

the corner of Ventnor Avenue and Monroe Avenue, and will be a vast improvement over existing conditions in terms of aesthetics.

In terms of the negative criteria (that granting the variances will not cause substantial detriment to the public good or substantially impair the intent and purpose of the zone plan or zoning ordinance of the City of Margate), the Board finds that granting the variances will not result in any substantial negative impacts. The Board finds that a commercial parking deficiency is nothing new in the City of Margate, or the vast majority of other shore towns in the area, and notes the parking shortage is generally limited to weekends in the summer season. The Board further notes the many other modes of transportation that the public often utilizes, such as car-pooling, bicycling, walking, and ride sharing applications such as Lyft and Uber to help alleviate the parking deficiency. The Board moreover notes that the Applicant is eliminating two residential apartments on the second floor of the building that had no on-site parking, which the Board views as significant, and that while a nine space parking variance is required, that does not account for the four parking space deficiency being eliminated by removing the two apartments. The Board also finds that with respect to the front and side yard setback variances noted in paragraph 12 above, the Applicant is not expanding the footprint of the building such that the variances requested are the result of adding the second floor deck only. The Board furthermore notes that there is currently a bar and restaurant on the property and that the same use will simply continue, albeit with the expansion of a second floor deck for additional occupants. The Board notes that one of the goals of the City of Margate Master Plan is promote commercial businesses in the City and that the proposed project helps support that goal. The Board finds that overall, having weighed and balanced the positives and negatives of the requested variances as detailed herein, the benefits from granting the requested variances substantially outweigh any detriments.

Based on the foregoing, the Board finds that the variance relief requested by the Applicant is warranted, has been justified by the Applicant and should be granted. The Board finds that in reaching its decision, it has considered the Applicant's entire proposal rather than only the benefits derived solely from each requested deviation. The Board additionally finds in reaching its decision the professional testimony presented by the Applicant's witnesses to be credible and to be more credible than the professional testimony presented by Mr. Scheidt in opposition to the Application. To that end, in addressing some of the arguments advanced on behalf of the objectors, the Board notes that §175-2 of the City of Margate zoning ordinance defines a roof deck as "[a] flat, open and uncovered platform above the highest habitable floor." The Board finds that the deck proposed by the Applicant is not open and uncovered, as shown on the plans and testimony presented, and is not above the highest habitable floor, which highest habitable floor would be the second floor. The Board finds that the deck proposed by the Applicant is a second floor deck, not a roof deck, and rejects the testimony presented by Mr. Scheidt to the contrary. The Board further finds that the property never had on-site parking and, as noted, commercial parking is a common deficiency in the City of Margate and other shore towns, and that a traffic study simply is not required for the reasons set forth above. The Board moreover notes that any noise generated by the project is subject to the noise control ordinances of the City of Margate and rejects the contention of Mr. Scheidt on behalf of the objectors that a noise study should have been undertaken. The Board also notes that contrary to the testimony presented that the lack of building setbacks raise a safety concern, many of the commercial buildings in the City of Margate have little to no front or side yard setbacks, and that this particular property has existed for many years in that fashion. The Board furthermore notes that dry flood proofing the property and installing flood barriers is a vast improvement over existing

conditions. The Board additionally finds that the subject property is located in a commercial district, that being the C-2 Zone, and that the Applicant is constructing renovations and additions within the existing footprint of the building and is well within the building height limitation set forth in the City of Margate zoning ordinance. The Board finds Mr. Scheidt's argument that the Applicant could have advanced the purposes of zoning it proffered with a less intensive project to lack credibility and notes that such an argument could be advanced in opposition to almost any commercial or other project that comes before a zoning or planning board. The Board finds that the testimony and opinions presented by Mr. Scheidt and the other objectors to the Application lack credibility and finds that the variance relief, and the Application, should be granted.

c) The Board finds that, with the checklist waivers and variances granted herein, the minor site plan is proper in all respects and complies with the standards established by the City of Margate zoning ordinance for minor site plan approval. As a result, the Board finds that minor site plan approval is warranted and should be granted. The Board finds that the proposed project will revitalize an older building on the property with new renovations and a second floor deck.

NOW, THEREFORE, a Motion having been made and seconded, the City of Margate Planning Board hereby grants checklist waivers, variance approval pursuant to N.J.S.A. 40:55D-70c and minor site plan approval, all as set forth in paragraph 12 above, for the reasons set forth above and with conditions agreed to by the Applicant as follows:

1) The Applicant shall install the sound system at the property in a manner than helps mitigate noise, as represented during the course of the hearing.

2) The rendering presented by the Applicant during the course of the hearing, marked as Exhibit A-1, will have the same general appearance of what is to be constructed by the Applicant, with the same percentage of glass shown on Exhibit A-1 as the final project.

3) The site lighting on the property will comply with the City of Margate ordinances pertaining to lighting.

4) The property shall comply with the Americans with Disabilities Act.

5) The Applicant shall comply with all conditions in the Board Engineer and Planner's report noted above, unless modified herein or on the record during the course of the hearing.

6) All representations made by or on behalf of the Applicant during the course of the hearing shall be followed.

7) The Applicant's approval as set forth herein is subject to all other necessary governmental approvals, including but not limited to Atlantic County Planning Board approval.

8) The Applicant shall submit the appropriate number of revised plans consistent with the approval granted herein to be reviewed for compliance in the discretion of the Board Engineer and Planner.

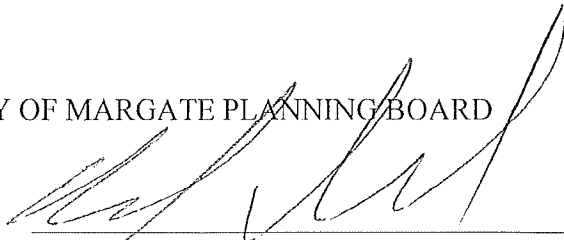
9) The conditions set forth herein shall run with the land and be binding on the Applicant, as well as any future owner of the property, and any of the Applicant's successors or assigns.

Those in Favor: (7) Seven: Collins, Palmisano, Patterson, Cristaldi, Galantino, Ruffu, and Richmond

Those Opposed: (1) One: Jasiacki

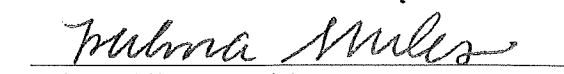
CITY OF MARGATE PLANNING BOARD

By:



Mike Richmond, Chairman

By:



Palma Shiles, Board Secretary

Certified as a true copy of the resolution
Adopted by the City of Margate Planning
Board on this 22nd day of February, 2024.


Palma Shiles, Board Secretary



**Atlantic County
Document Summary Sheet**

DEED/NO EXEMPTION FROM REALTY TRANSFER FEE	Type	DEED/NO EXEMPTION FROM REALTY TRANSFER FEE				
	Consideration	\$1,425,000.00				
	Submitted By	SIMPLIFILE, LLC. (SIMPLIFILE)				
	Document Date	04/20/2023				
	Reference Info					
	Book ID	Book	Beginning Page	Instrument No.	Recorded/File Date	
	GRANTOR	Name			Address	
		SALAEDIN REDZEPI			10 CLAYTON COURT, EGG HARBOR TOWNSHIP, NJ 08234	
		SALAEDINO REDZEPI			10 CLAYTON COURT, EGG HARBOR, NJ 08234	
	GRANTEE	Name			Address	
		SUNRISE WINE TEQUILA LLC			428 PEMBROKE AVENUE, MARGATE, NJ 08402	
	Parcel Info					
	Property Type	Tax Dist.	Block	Lot	Qualifier	Municipality
	03	131	21		03	

* DO NOT REMOVE THIS PAGE.
COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF ATLANTIC COUNTY FILING RECORD.
RETAIN THIS PAGE FOR FUTURE REFERENCE.

DEED

J# 22NJ03743
CHARGE, RECORD RETURN
TRIDENT LAND TRANSFER CO, NJ
7000 LINCOLN DRIVE EAST
SUITE 105
MARLTON, NJ 08053

This Deed is made on April 20, 2023,

BETWEEN Salaedino Redzepi, a/k/a Salaedin Redzepi, whose address is 10 Clayton Court, Egg Harbor Township, NJ 08234, referred to as the Grantor,

AND

Sunrise Wine & Tequila, LLC, whose address is 428 Pembroke Avenue, Margate, NJ 08402, referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. **Transfer of Ownership.** The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of One Million Four Hundred Twenty-Five Thousand Dollars (\$1,425,000.00). The Grantor acknowledges receipt of this money.

2. **Tax Map Reference.** (N.J.S.A. 46:15-1.1) Municipality: City of Margate, Block No. 131, Lot 21 Qualifier

3. **Property.** The property consists of the land and all the buildings and structures on the land in the City of Margate, County of Atlantic and State of New Jersey. The legal description is:

Please see attached Legal Description annexed hereto and made a part hereof. (Check box if applicable).

BEING the same real property which became vested in Salaedin Redzepi, by deed from Robert J. Falciani, dated October 18, 1999 and recorded December 13, 1999 in the Atlantic County Clerk's Office in Deed Book 6599, Page 256, *et seq.* This deed was re-recorded to correct the Grantees name to Salaedin Redzepi.

BEING ALSO the same real property which became vested in Saledin Redzepi by deed from Robert J. Falciani, dated October 18, 1999 and recorded December 13, 1999 in the Atlantic County Clerk's Office in Deed Book 6570, Page 168, *et seq.*

Subject to easements and restrictions of record and rights to public utilities.

The street address of the Property is 9700-9702 Ventnor Avenue, Margate City, NJ 08402

4. **Promises by Grantor.** The Grantor promises that the Grantor has done no act to encumber the Property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the Property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

**SCHEDULE C
PROPERTY DESCRIPTION**

The land referred to in this Commitment is described as follows:

LAND AND PREMISES situate in the City of Margate, County of Atlantic and State of New Jersey as follows:

BEGINNING at the point of intersection of the southeasterly line of Ventnor Avenue (80 feet wide), and the southwesterly line of Monroe Avenue (50 feet wide) and from said point runs; thence

(1) South 53 degrees 33 minutes 00 seconds West, along said line of Ventnor Avenue, a distance of 50.00 feet to a point; thence

(2) South 36 degrees 27 minutes 00 seconds West, parallel to Monroe Avenue, a distance of 87.00 feet to a point; thence

(3) North 53 degrees 33 minutes 00 seconds East, parallel to said line of Ventnor Avenue, a distance of 50.00 feet to a point in said line of Monroe Avenue; thence

(4) North 36 degrees 27 minutes 00 seconds West, along Monroe Avenue a distance of 87.00 feet to the point and place of BEGINNING.

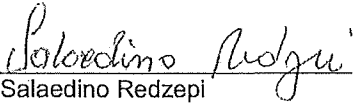
BEING described in accordance with a survey by James R. Boney, PLS dated January 30, 2018 revised to December 09, 2022.

TAX NOTE: Being known as Block 131, Lot 21 on the official tax map (For informational purposes only).

This page is only a part of a 2016 ALTA® Commitment for Title Insurance [issued by Trident Land Transfer Company (NJ) LLC]. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

John Scott Abbott, Esq.

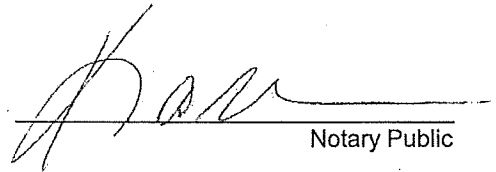
5. **Signatures.** The Grantor signed this Deed as of the date at the top of the first page.


Salaedino Redzeqi

STATE OF NEW JERSEY, COUNTY OF ATLANTIC, SS.:

I CERTIFY that on *April 20*, 2023, Salaedino Redzeqi, the Grantor herein, personally came before me and stated to my satisfaction that he (or if more than one, each person):

- (a) is the maker of this Deed;
- (b) he executed this Deed as his own act and deed; and
- (c) this Deed was made for \$1,425,000.00 as the full and actual consideration paid or to be paid for the transfer of title. Such consideration is defined in N.J.S.A. 46:15-5.


Notary Public

KAREN J HUNTER
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES MAY 20, 2024

KAREN J HUNTER
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES MAY 20, 2024

Record and Return To:

State of New Jersey Seller's Residency Certification/Exemption

(Print or type)

Seller's Information

Name(s)

Salaedino Redzepe a/k/a Salaedin Redzepe

Current Street Address:

10 Clayton Court

City, Town, Post Office Box

Egg Harbor Township

State

New Jersey

ZIP Code

08234

Property Information

Block(s)

131

Lot(s)

21

Qualifier

Street Address:

9700-9702 Ventnor Avenue

City, Town, Post Office

Margate

State

New Jersey

ZIP Code

08402

Seller's Percentage of Ownership

100.00%

Total Consideration

\$1,425,000.00

Owner's Share of Consideration

\$1,425,000.00

Closing Date

April 20, 2023

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
 Seller did not receive non-like kind property.
8. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. The deed is dated prior to August 1, 2004, and was not previously recorded.
11. The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. The property transferred is a cemetery plot.
14. The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

04-20-2023
Date

Salaedino Redzepe
Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

Date

Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT

STATE OF NEW JERSEY }
COUNTY OF Atlantic } SS. County Municipal Code 3114
MUNICIPALITY OF PROPERTY LOCATION City of Margate

FOR RECORDER'S USE ONLY	
Consideration	\$ _____
RTF paid by buyer	\$ _____
Date	By _____

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

X X X - X X - X 150
Last three digits in grantee's Social Security Number

Deponent, Brian Hiltner, being duly sworn according to law upon his/her oath, deposes and says that he/she is the Managing Member in a deed dated 4/20/23 transferring real property identified as (Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
Block no. 131, Lot no. 21, located at 9700-9702 Ventnor Avenue, Margate
(Street Address, Town)
and annexed thereto.

(2) CONSIDERATION \$ 1,425,000.00 (See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED OR CIRCLED BELOW IS TAKEN FROM OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD) OF MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR OF TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) Grantee required to remit the 1% fee, complete (A) by checking off appropriate box or boxes below.

- Class 2 Residential
- Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property
- Class 4A - Commercial properties (if checked, calculation in (E) required below)
- Cooperative unit (four families or less) (See C. 46:8D-3.) Cooperative units are Class 4C

(B) Grantee is not required to remit 1% fee (one or more of following classes being conveyed), complete (B) by checking off appropriate box or boxes below.

- Property class. Circle applicable class or classes: 1 3B 4B 4C 15
Property classes: 1-Vacant Land; 3B-Farm property (Qualified); 4B-Industrial properties; 4C-Apartments; 15: Public property, etc. (N.J.A.C. 18:12-2.2 et seq.)
- Exempt organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.
- Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.
- Intercompany transfer between combined group members as part of the unitary business (See Instruction #13 on reverse side)
List the Combined group NU ID number (Required) _____

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one not subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).

- Property class. Circle applicable class or classes: 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

Total Assessed Valuation ÷ Director's Ratio = Equalized Valuation

Property Class _____	\$ _____	÷ _____	% = \$ _____
Property Class _____	\$ _____	÷ _____	% = \$ _____
Property Class _____	\$ _____	÷ _____	% = \$ _____
Property Class _____	\$ _____	÷ _____	% = \$ _____

(E) REQUIRED EQUALIZED VALUE CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Value
\$ 671,900.00 ÷ 68.31 % = \$ 983,604

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this April 20, 2023

K. A.

Brian Hiltner
Signature of Deponent

Sunrise Wine & Tequila, LLC

Grantee Name

9700-9702 Ventnor Avenue, Margate, N.J. 08402

22NJ03743

STATE OF NEW JERSEY

AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

COUNTY OF Atlantic

MUNICIPALITY OF PROPERTY LOCATION City of Margate

SS. County Municipal Code
0116

FOR RECORDER'S USE ONLY

Consideration \$ _____
RTF paid by seller \$ _____
Date _____ By _____

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

Deponent, Salaedin Redzeqi, being duly sworn according to law upon his/her oath, deposes

and says that he/she is the Grantor in a deed dated April 20, 2023 transferring

real property identified as Block no. 131, Lot no. 21, located at 9700-9702 Ventnor Avenue, Margate, and annexed thereto.

(2) CONSIDERATION \$ 1,425,000.00 (Instructions #1 and #5 on reverse side) no prior mortgage to which property is subject.

(3) Property transferred is Class (4A) 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:
(See Instructions #5A and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Assessed Valuation
\$ 67,900 ÷ 68.31 % = \$ 452,974.89 ~~14,832.04~~

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(5) PARTIAL EXEMPTION FROM FEE (Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) 62 years of age or over. * (Instruction #9 on reverse side for A or B)
- B. { BLIND PERSON Grantor(s) legally blind or;*
- DISABLED PERSON Grantor(s) permanently and totally disabled receiving disability payments not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:
 Owned and occupied by grantor(s) at time of sale. Resident of State of New Jersey.
 One or two-family residential premises. Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

C. LOW AND MODERATE INCOME HOUSING (Instruction #9 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- Affordable according to H.U.D standards. Reserved for occupancy.
- Meets income requirements of region. Subject to resale controls.

(6) NEW CONSTRUCTION (Instructions #2, #10 and #12 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- Entirely new improvement. Not previously occupied.
- Not previously used for any purpose. "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES (Instructions #5, #12, #14 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- No prior mortgage assumed or to which property is subject at time of sale.
- No contributions to capital by either grantor or grantee legal entity.
- No stock or money exchanged by or between grantor or grantee legal entities.

(8) INTERCOMPANY TRANSFER IF APPLIES ALL BOXES MUST BE CHECKED. (Instruction #15 on reverse side)

- Intercompany transfer between combined group members as part of the unitary business.
- Combined group NU ID number (Required) _____

(9) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 20th day of April, 2023.

Salaedin Redzeqi
Signature of Deponent

10 Clayton Court, Egg Harbor Township, NJ 08234
Deponent Address

XXX-XX-X754
Last three digits in Grantor's Social Security No.

Salaedino Redzeqi a/k/a Salaedin Redzeqi
Grantor Name

10 Clayton Court, Egg Harbor Township, NJ 08234
Grantor Address at Time of Sale

Trident Land Transfer Company (NJ) LLC
Name/Company of Settlement Officer

KAREN J HUNTER
NOTARY PUBLIC

FOR OFFICIAL USE ONLY



Office of The Tax Assessor
Municipal Building
9001 Winchester Avenue
Margate City, NJ 08402
609-822-1950

James . Manghan, CTA
Tax Assessor

Eric S. Goldstein
Nehmad Davis & Goldstein, PC
4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234
File No: 13158-001

Block: 131, Lot: 21
Location: 9700 Ventnor Avenue
Date: April 25, 2024

A handwritten signature in black ink, appearing to read "James W. Manghan".

James W. Manghan, CTA
Tax Assessor

Tax list good for 60 days per Margate City Code Book (170-5)

Atlantic County

VARIANCE REPORT (200 Ft)

0116 Margate City
04/25/24 Page: 1

<u>Block Lot Qual</u>	<u>Property Location Additional Lot Additional Lot</u>	<u>Property Class</u>	<u>Owner Address City, State</u>	<u>Zip Code</u>
130 25	9614 VENTNOR AVE	4A	FRYE, DIANE B 9614 VENTNOR AVE MARGATE, NJ	08402
130 31 C000A	9612 VENTNOR AVE	2	STUTS, GEORGE D & KATHRYN 234 ANDERSON AVE PHOENIXVILLE, PA	19460
130 31 C000B	9612 VENTNOR AVE	2	GOODMAN, JOEL & TERRI 1402 PATRICK COURT MAPLE GLEN, PA	19002
130 31 C000C	9612 VENTNOR AVE	2	GOLDBERGER, BENSON 112 BRINLEY CT PHILADELPHIA, PA	19146
130 35	9608 VENTNOR AVE	2	BELL ATLANTIC-PROPERTY TAX #3137 PO BOX 2749 ADDISON, TX	75001
130 37	9606 VENTNOR AVE	2	VEKSTEIN, ERIC & SONYA 610 ASPEN STREET WASHINGTON, DC	20012
130 213	11 S MONROE AVE	2	SPINOSI, M L & DOMINIJANNI, A 508 EGG HARBOR ROAD SEWELL, NJ	08080
130 214	16 S MADISON AVE	2	MUSKETT, PAUL E & MUSKETT, JAMES A 5600 EDGEWATER AVE VENTNOR, NJ	08406
130 215 C000A	7 S MONROE AVE	2	OLEVSKY FAMILY TRUST 168 PHEASANT LN HUNTINGDON VALLEY, PA	19006
130 215 C000B	7 S MONROE AVE	2	LITVAK, ALEXANDER V & SVETLANA E 10 HARTLEY LN VOORHEES, NJ	08043
130 218	14 S MADISON AVE	2	TADDEI, JOHN 33 FAIRLAMB AVE HAVERTOWN, PA	19083
130 219 C000A	5 S MONROE AVE	2	HOFFNER, JEFFREY A & MELISSA 5 S MONROE AVE MARGATE, NJ	08402
130 219 C000B	5 S MONROE AVE	2	BERMAN, ADAM & ERIKA 34 WILLIAM PENN RD WARREN TWP, NJ	07059

Atlantic County

VARIANCE REPORT (200 Ft)

0116 Margate City
04/25/24 Page: 2

<u>Block Lot Qual</u>	<u>Property Location Additional Lot Additional Lot</u>	<u>Property Class</u>	<u>Owner Address City, State</u>	<u>Zip Code</u>
130 220 C00A	12 S MADISON AVE	2	DI CELLO, RUSSELL & ANDERSON, LISA 54 W EUCLID AVENUE HADDONFIELD, NJ	08033
130 220 C00B	12 S MADISON AVE	2	LANG, BARBARA A 116 MAIN STREET PORT REPUBLIC, NJ	08241
131 7	3 S COOLIDGE AVE	2	MARCUS, SCOTT & MONA 3 S COOLIDGE AVENUE MARGATE CITY, NJ	08042
131 11	9708-9710 VENTNOR AVE	4A	BAGLIVO, STEVEN 8005 ATLANTIC AVENUE MARGATE, NJ	08402
131 17 C000A	9706 VENTNOR AVE	2	WATTS TRUST @ GARY & NICOLE 237 FREELAND DR COLLEGEVILLE, PA	194262686
131 17 C000B	9706 VENTNOR AVE	2	NEUBAUER, ANGELA A 25 PIN OAK COURT LAFAYETTE HILL, PA	19444
131 17 C000C	9706 VENTNOR AVE	2	SCHIKAL, J. & TEKIRIAN, M. 1101 LUDLOW ST #1710 PHILADELPHIA, PA	191074277
131 17 C000D	9706 VENTNOR AVE	2	GEDDES, PATRICK & SANDRA 20 LAVENDER CT MARLTON, NJ	08053
131 19 C01	9704 VENTNOR AVE	2	COHEN, MICHAEL E & SHERYL B 21213 ANNS CHOICE WAY WARMINSTER, PA	18974
131 19 C02	9704 VENTNOR AVE	2	ALEXANDER, ALANNA 9704 VENTNOR AVE UNIT 2 MARGATE, NJ	08402
131 19 C03	9704 VENTNOR AVE	2	BUZETTA, RONALD 128 MOOREHEAD AVENUE CONSHOHOCKEN, PA	19428
131 19 C04	9704 VENTNOR AVE	2	HERSH, MATTHEW & VAN DUSEN, CRYSTAL 7 CORLEN CT MEDFORD, NJ	08055
131 21	9700 VENTNOR AVE	4A	SUNRISE WINE & TEQUILA LLC 428 N PEMBROKE AVENUE MARGATE CITY, NJ	084021324

Atlantic County

VARIANCE REPORT (200 Ft)

D116 Margate City
04/25/24 Page: 3

<u>Block Lot Qual</u>	<u>Property Location Additional Lot Additional Lot</u>	<u>Property Class</u>	<u>Owner Address City, State</u>	<u>Zip Code</u>
131 21.01	4 S MONROE AVE	2	FOXTAIL MANAGEMENT LLC 96 CHELTENHAM AVE LINWOOD, NJ	08221
131 208	12 S MONROE AVE	2	WILLIAMS TRUST, PATRICIA A 76 SARATOGA ROAD STRATFORD, NJ	08084
131 210 C000A	10 S MONROE AVE	2	PERLMAN, ELI M. & KATHLEEN T 823 EDNA JANE LANE WEST GROVE, PA	19390
131 210 C000B	10 S MONROE AVE	2	BURTON, JUDI & MICHAEL S 148 INVERNESS DRIVE BLUE BELL, PA	19422
131 211	11 S COOLIDGE AVE	2	BECK, FRANCIS D 11 S COOLIDGE AVE MARGATE, NJ	08402
131 215	9 S COOLIDGE AVE	2	LEVINSTEIN, GENE & INNA 17 OXFORD DR IVYLAND, PA	18974
131 216 C000A	8 S MONROE AVE	2	FEIG, PHILIP & SHARON 87 DILLON WAY WASHINGTON CROSSING, PA	18977
131 216 C000B	8 S MONROE AVE	2	GOLDFIELD, MITCHELL LEE & PATRICIA 9 STOCKTON DRIVE VOORHEES, NJ	08043
131 217	7 S COOLIDGE AVE	2	TORJMAN, MARC C & GAYLE B 1120 DEER RUN COURT SOUTHAMPTON, PA	18966
131 219	5 S COOLIDGE AVE	2	DIMARTINO, JAMES & JOHN & GODFREY L 691 SOCS LANE CAPE MAY, NJ	08204
131 220 C000A	6 S MONROE AVE	2	DIPRETORO GUARINO, EUGENIA E 39 OVERLOOK CIRCLE BERWYN, PA	19312
131 220 C000B	6 S MONROE AVE	2	DIPRETORO JR, RAYMOND A & JEANINE 44 WOODRIDGE ROAD THORNTON, PA	19373
230 28	9615 VENTNOR AVE	4A	PET FRIENDLY VENTURES LLC 9615 VENTNOR AVE MARGATE, NJ	08402

Atlantic County

VARIANCE REPORT (200 Ft)

0116 Margata City
04/25/24 Page: 4

<u>Block Lot Qual</u>	<u>Property Location Additional Lot Additional Lot</u>	<u>Property Class</u>	<u>Owner Address City, State</u>	<u>Zip Code</u>
230 32 C000A	9613 VENTNOR AVE	2	SYLEX REAL ESTATE LLC 3281 CLARIDGE RD BENSALEM, PA	190201793
230 32 C000B	9613 VENTNOR AVE	2	NISENZON, LEONID & FRIDMAN, MARINA 41 LENAPE RD RICHBORO, PA	18954
230 303 C0001	5 N MONROE AVE	2	PAYMER, ALISON & SCOTT 5 N MONROE AVE UNIT 1 MARGATE, NJ	08402
230 303 C0002	5 N MONROE AVE	2	LORENZ, GREGORY A & CAROL 166 RICE DRIVE MORRISVILLE, PA	19067
231 14	9709 VENTNOR AVE	2	COPPINGER, STACY 103 LANTERN WAY DEPTFORD, NJ	08096
231 16	9701-9707 VENTNOR AVE	4A	FRAZIER PROPERTIES C/O H J GROSS MD 9701 VENTNOR AVE MARGATE, NJ	08402
231 304 C000A	4 N MONROE AVE	2	SHERMAN, MICHAEL E & JILL S 1109 OAKMONT DR LANCASTER, PA	17601
231 304 C000B	4 N MONROE AVE	2	WEISBAUM, STANLEY E & MICHELE R 2142 JULIA DRIVE CONSHOHOCKEN, PA	19428
231 304 C000C	4 N MONROE AVE	2	MUNSON, MICHAEL & MAZZACANO, ANDREA 2034 E WELLINGTON RD NEWTOWN, PA	18940
231 304 C000D	4 N MONROE AVE	2	GERARD, MICHAEL & KATE 8101 CRITTENDEN ST. PHILADELPHIA, PA	19118

CONDOMINIUM ASSOCIATIONS TO BE NOTIFIED FROM TAX LIST

OCEANVIEW C.A.
BLOCK 130, LOT 201
HAWKEYE PROPERTY MANAGEMENT
P.O. BOX 3182
MARGATE, NJ 08402

SEA COVE C.A.
BLOCK 230, LOT 34
THOMPSON REALTY
1613 ATLANTIC AVENUE
ATLANTIC CITY, NJ 08401

ROYAL PALMS C.A.
BLOCK 231, LOT 6
HAWKEYE PROPERTY MANAGEMENT
P.O. BOX 3182
MARGATE, NJ 08402

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY
VP CONSTRUCTION
1 SOUTH JERSEY PLAZA, RT. 54
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM
901 LEEDS AVENUE
ABSECON, NJ 08201

ATLANTIC COUNTY PLANNING BOARD
RT 9 & DOLPHIN RD
PO BOX 719
NORTHFIELD, NJ 08225

ITEMS PRINTED..... 56



TARA J. MAZZA, CTC
TAX COLLECTOR

OFFICE OF THE TAX COLLECTOR

MUNICIPAL BUILDING
9001 WINCHESTER AVENUE
MARGATE CITY, NEW JERSEY 08402
(609) 822-2508
FAX (609) 822-8316
E-mail: mazza_tara@margate-nj.com

RECEIVED
MAY 1 2024
NDG LEGAL

Date: April 22, 2024

To Whom It May Concern:

I HEREBY CERTIFY THAT the TAX for Q2 2024;

And the WATER and SEWER charges for the year 2024

Are paid on property located at 9700 Ventnor Ave.

Assessed to Sunrise Wine & Tequila LLC

Designated as BLOCK 131 Lot 21

This certification expires on July 31, 2024

Tara J Mazza, CTC
Tax Collector
Mazza_tara@margate-nj.com

Per *TJM*